



LOCATION MAP

1" = 400'

ACT 287 LIST OF UTILITIES

THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1996 FOR NOTIFICATION OF UTILITIES BEFORE EXCAVATION IN CONTRACT AREA. THE UNDERGROUND UTILITIES LOCATION CALL NUMBER IS 1-800-242-5776. SERIAL NUMBER: 2022270313 BY TERRANCE DECONTOUR, INC.

DATE: OCTOBER 03, 2022
DESIGN CONTACT INFORMATION:
COMPANY: PENNSYLVANIA AMERICAN WATER
ADDRESS: 883 WESLEY DR
MECHANICSBURG, PA 17055
CONTACT: JEFF HORTON
EMAIL: JEFF.HORTON@PAAMWATER.COM
COMPANY: VERIZON PENNSYLVANIA LLC
ADDRESS: 1020 HWY ST
PITTSBURGH, PA 15221
CONTACT: DEBORAH BARNUM
EMAIL: DEBORAH.D.DELA@VERIZON.COM
COMPANY: LOWER ALLEN TOWNSHIP AUTHORITY
ADDRESS: 130 UNDEVEL RD
NEW CUMBERLAND, PA 17070
CONTACT: BRIAN KAUFFMAN
EMAIL: BKKAUFFMAN@LATWP.ORG
COMPANY: LOWER ALLEN TOWNSHIP
ADDRESS: 2283 GETTYSBURG RD
CAMP HILL, PA 17011
CONTACT: BRUCE THOMPSON
EMAIL: BTHOMPSON@LATWP.ORG
COMPANY: FIRST ENERGY PERM LLC
ADDRESS: 21 S MAIN ST
ARTON, OH 44809
CONTACT: CAVA WARREN
EMAIL: CAVA.WARREN@FIRSTENERGYCORP.COM
COMPANY: PPL ELECTRIC UTILITIES CORPORATION
ADDRESS: 404 SIOUXIANA TRAIL
NORTHUMBERLAND, PA 17857
CONTACT: DOUG HAUFF
EMAIL: DOUGHAUFF@PPLWEB.COM
COMPANY: COMCAST
ADDRESS: 4021 SMITH STREET
HARRISBURG, PA 17109
CONTACT: MICHAEL SWEIGARD
EMAIL: MICHAEL.SWEIGARD@COMCAST.COM
COMPANY: US UTILITIES INC.
ADDRESS: 1301 AP DR
MIDDLETOWN, PA 17057
CONTACT: STEPHEN BATTMAN
EMAIL: SBATTMAN@USGI.COM



PRELIMINARY / FINAL LAND DEVELOPMENT PLAN CLOUD10 CAR WASH

3556 GETTYSBURG ROAD (S.R. 2027)
CAMP HILL, PA 17011
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

PREPARED FOR:

1852 CAMP HILL, LLC
28 THORNDAL CIRCLE, 3RD FLOOR
DARIEN, CT 06820

PREPARED BY:

HYLAND
Engineering

212 South Front Street
Wormleysburg, PA 17043
adavis@hylandeng.com

DESIGN ENGINEER STORMWATER MANAGEMENT APPROVAL STATEMENT

I, Matthew Davis, ON THIS DATE September 18, 2022, HAVE REVIEWED AND CERTIFY THAT THE DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE LOWER ALLEN TOWNSHIP ACT 167 STORMWATER MANAGEMENT ORDINANCE.

STATEMENT OF ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE UPPER MORELAND TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. THE ERROR OF CLOSURE NO GREATER THAN ONE FOOT IN 10,000 FEET.

Oct. 30, 2024
SURVEYOR - MATTHEW DAVIS, PLS
212 S FRONT STREET
WORMLEYSBURG, PA 17043

STATEMENT OF ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE LAND DEVELOPMENT PLAN AND INFORMATION SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE UPPER MORELAND TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

September 18, 2022
ENGINEER - ADAM C. DAVIS, P.E.
212 S FRONT STREET
WORMLEYSBURG, PA 17043

OWNER STORMWATER MANAGEMENT PERMANENT FIXTURES STATEMENT

Brandon Thomas ON THIS DATE September 9, 2024
ACKNOWLEDGES THAT THE DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE LOWER ALLEN TOWNSHIP ACT 167 STORMWATER MANAGEMENT ORDINANCE.

LOWER ALLEN TOWNSHIP BOARD OF COMMISSIONERS

APPROVED BY THE BOARD OF COMMISSIONERS, LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA.

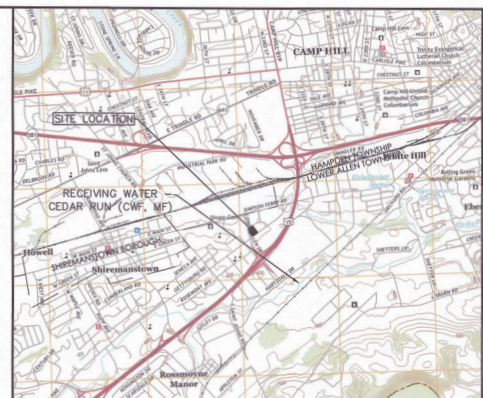
APPROVED THIS 28th DAY OF January, 2025
CONDITIONS OF APPROVAL COMPLETED THIS 18th DAY OF JUNE, 2025

Jonathan M. Carr PRESIDENT
Rebecca L. Davis SECRETARY

WAIVERS

THE FOLLOWING WAIVERS FROM THE LOWER ALLEN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE HAVE BEEN APPLIED FOR:

- SECTION 162-30A - PRELIMINARY PLAN APPLICATION
- SECTION 162-30B.10 - PLANTING ISLANDS SHALL BE DESIGNED TO COLLECT STORMWATER RUNOFF



VICINITY MAP

SCALE: 1" = 2,000'

STATEMENT OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN, AND OFFER OF DEDICATION

DATE OF Construction
COUNTY OF LANCASTER

ON THIS DAY OF September, 2024 BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED Brandon Thomas KNOWN TO ME (OR SATISFACTORILY PROVEN) TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED THAT Brandon Thomas EXECUTED THE SAME FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND OFFICIAL SEAL.

Brandon Thomas SIGNATURE
CEO & Manager TITLE

NOTARY
JAVIER BLAS
Notary Public
My Commission Expires Sep 30, 2025

MY COMMISSION EXPIRES ON September 30, 2025

LOWER ALLEN TOWNSHIP PLANNING COMMISSION REVIEW STATEMENT

AT A MEETING ON September 18, 2024, THE LOWER ALLEN TOWNSHIP PLANNING COMMISSION REVIEW THIS PLAN.

TOWNSHIP OF LOWER ALLEN
PLANNING COMMISSION

ATTEST
LOWER ALLEN TOWNSHIP SECRETARY CHAIRMAN

LOWER ALLEN TOWNSHIP ENGINEER REVIEW STATEMENT

REVIEWED ON September 18, 2024, BY TOWNSHIP ENGINEER.

TOWNSHIP ENGINEER

CUMBERLAND COUNTY PLANNING DEPARTMENT REVIEW STATEMENT

REVIEWED THIS 30th DAY OF October, 2024, BY THE CUMBERLAND COUNTY PLANNING DEPARTMENT.

Kirk Stone (M.A.P.)
DIRECTOR OF PLANNING

RECORDER OF DEEDS CERTIFICATE

RECORDED IN THE CUMBERLAND COUNTY COURTHOUSE:

RECORDED ON THIS 28th DAY OF June, 2025

INSTRUMENT NO. 20251631

DEVELOPER/APPLICANT:
1852 CAMP HILL, LLC
28 THORNDAL CIRCLE, 3RD FLOOR
DARIEN, CT 06820
(203) 534-6853
brendan@cloud10carwash.com

OWNER:
SHOWER INVESTMENT GROUP 3, LLC
1371 PATRICK HENRY DRIVE
PHOENIXVILLE, PA 17460
(215) 804-0454

DATES

ISSUE DATE: OCTOBER 14, 2022

REVISIONS: DECEMBER 8, 2022
JANUARY 3, 2023

PLAN PURPOSE:
THE PURPOSE OF THIS PLAN IS TO
CONSTRUCT A 4,185 SF CAR WASH AND
ASSOCIATED SITE IMPROVEMENTS

GENERAL NOTES

1.

ALL CONSTRUCTION SHALL COMPLY WITH MUNICIPAL STANDARDS AND SPECIFICATIONS, DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, 2010 ADA STANDARDS, AND STATE BUILDING CODE IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS OR CONFLICTS REGARDING THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
2.

REFER TO OTHER PLANS BY OTHER DISCIPLINES, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER AND/OR ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO BIDDING.
3.

DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
4.

THE CONTRACTOR SHALL ARISE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
5.

THE APPLICANT SHALL PROVIDE AN AS-BUILT PLAN OF ALL STORMWATER BMP'S INCLUDED IN THE THE APPROVED STORMWATER MANAGEMENT SITE PLAN, THE AS-BUILT PLANS AND AN EXPLANATION OF ANY DISCREPANCIES WITH THE CONSTRUCTION PLANS SHALL BE SUBMITTED TO THE MUNICIPALITY. THE AS-BUILT SUBMISSION SHALL INCLUDE A CERTIFICATION OF COMPLETION SIGNED BY A QUALIFIED PROFESSIONAL VERIFYING THAT ALL PERMANENT STORMWATER BMP'S HAVE BEEN CONSTRUCTED ACCORDING TO THE APPROVED PLANS AND SPECIFICATIONS. THE LATITUDE AND LONGITUDE COORDINATES FOR ALL PERMANENT STORMWATER BMP'S MUST ALSO BE SUBMITTED. AT THE CENTRAL LOCATION OF THE BMP'S, IF ANY LICENSED QUALIFIED PROFESSIONALS CONTRIBUTED TO THE CONSTRUCTION PLANS, THEN A LICENSED QUALIFIED PROFESSIONAL MUST SIGN THE COMPLETION CERTIFICATE
6.

THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ENGINEER HAS NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
7.

THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
8.

INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL OR COUNTY OR STATE RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT PA PENNSYLVANIA811 72 HOURS BEFORE COMMENCEMENT OF WORK AT (800) 242-1776 OR AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. THE CONTRACTOR SHALL EMPLOY THE USE OF A UTILITY LOCATING COMPANY TO PROVIDE SUBSURFACE UTILITY ENGINEERING CONSISTING OF DESIGNATING UTILITIES AND STORM PIPING ON PRIVATE PROPERTY WITHIN THE CONTRACT LIMIT AND CONSISTING OF DESIGNATING AND LOCATING WHERE PROPOSED UTILITIES AND STORM PIPING CROSS EXISTING UTILITIES AND STORM PIPING WITHIN THE CONTRACT LIMITS.
9.

DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
10.

ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS OR PLAN SET ELECTRONIC POSTINGS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS OR COMPLETE PLAN SET ELECTRONIC POSTINGS FOR USE IN BIDDING AND CONSTRUCTION.
11.

ALL NOTES AND DIMENSIONS DESIGNATED 'TYPICAL' APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
12.

CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
13.

NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
14.

THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT AND OBTAIN FROM COUNTY AND MUNICIPAL SOURCES. ALL CONSTRUCTION PERMITS, INCLUDING ANY STATE DOT PERMITS, SEWER AND WATER CONNECTION PERMITS, AND ROADWAY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
15.

THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE SEDIMENT AND EROSION CONTROL PLAN.
16.

THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, LANDINGS, DECKS, RAMPS, AND STAIRS.
17.

SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
18.

ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
19.

A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO.428), AS AMENDED, BEFORE ANY IMPROVEMENTS ARE INITIATED WITHIN A STATE HIGHWAY, OR A STREET, ACCESS DRIVE, OR DRIVEWAY INTERSECTION TO A STATE HIGHWAY IS PERMITTED.
20.

THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TEMPORARY WALKWAYS, TRAFFIC CONTROL DEVICES, AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS OR AS REQUIRED BY THE OWNER. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS FOR USE AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.
21.

TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILLED OR NOTED.
22.

REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
23.

THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
24.

PAVEMENT MARKING KEY:

4" SYL 4" SOLID YELLOW DOUBLE LINE
4" SYL 4" SOLID YELLOW LINE
4" SWL 4" SOLID WHITE LINE
12" SWSB 12" SOLID WHITE STOP BAR
4" BWL 4" BROKEN WHITE LINE 10' STRIPE 30' SPACE
25.

PARKING SPACES SHALL BE STRIPED WITH 4" SWL; HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2' ON CENTER. HATCHING, SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
26.

ALL PARKING SPACES AND HATCHED AREAS SHALL HAVE TWO COATS OF PAVEMENT MARKINGS APPLIED TO STRIPING.
27.

THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, SWALE, PAVEMENT MARKINGS, OR SIGNAGE DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER, AND TO THE SATISFACTION OF THE OWNER AND MUNICIPALITY.
28.

ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION.
29.

THE PROJECT PARCEL IS NOT LOCATED PARTLY OR WHOLLY WITHIN A FEMA DESIGNATED FLOOD HAZARD AREA.
30.

THERE ARE NO WETLANDS LOCATED ON THE SITE.
31.

ALL ADA DESIGNATED PARKING STALLS, ACCESS AISLES AND PEDESTRIAN WALKWAYS SHALL CONFORM TO THE CURRENT VERSION OF THE AMERICANS WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN AND ANSI STANDARDS AND AS MAY BE SUPERCEDED BY THE STATE BUILDING CODE.
32.

CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF NFPA 1 UNIFORM FIRE CODE.
33.

SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN AND/OR DEMOLITION PLAN SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.
34.

ALL BUILDINGS, INCLUDING FOUNDATION WALLS AND FOOTINGS AND BASEMENT SLABS INDICATED ON THE DEMOLITION PLAN ARE TO BE REMOVED FROM THE SITE. CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
35.

ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL ABATEMENT CONTRACTOR.
36.

THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
37.

THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY PROVIDER TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR AT THE MAIN, AS REQUIRED BY THE UTILITY PROVIDER, OR AS OTHERWISE NOTED OR SHOWN ON THE CONTRACT DRAWINGS. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. THE CONTRACTOR SHALL PAY ALL UTILITY PROVIDER FEES FOR ABANDONMENTS AND REMOVALS.
38.

REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.
39.

THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED.
40.

THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
41.

THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF HIS WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW SEDIMENT AND EROSION CONTROLS AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.
42.

IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
43.

NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH OWNER AND THE CIVIL ENGINEER IS PERFORMED. THE CONTRACTOR SHOULD BE AWARE OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS. THE CONTRACTOR SHALL HAVE PA ONE-CALL MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.
44.

THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO SEDIMENT AND EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.
45.

TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.
46.

THE CONTRACTOR SHALL COMPACT FILL IN LIFT THICKNESS PER THE GEOTECHNICAL REPORT UNDER ALL PARKING, BUILDING, DRIVE, AND STRUCTURE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS REQUIRED BY THE GEOTECHNICAL ENGINEER.

47.

CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD PRIOR TO THE START OF WORK ON THE SITE.

48.

PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE PADEP THE PADEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL, LATEST EDITION. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SEDIMENT AND EROSION CONTROL PLAN CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
49.

ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
50.

THE UTILITY PLAN DETAILS SITE INSTALLED PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING CONNECTIONS. SITE CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY AT BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT.
51.

THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE PROPOSED SANITARY SEWERS AND WHERE PROPOSED STORM PIPING WILL CROSS EXISTING UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED SANITARY SEWERS, STORM PIPING AND UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
52.

THE OWNER AND COORDINATE FOR SCHEDULE OF BUILDING DEMOLITION. CONTRACTOR SHALL SECURE THE NECESSARY PERMITS AND PAY ALL FEES. ALL BUILDING FOOTINGS, FOUNDATION, STRUCTURES, AND BUILDING UTILITY SERVICES SHALL BE REMOVED. COORDINATE LOCATION OF UTILITY CAPS WITH LOCAL UTILITY PROVIDER IN ACCORDANCE WITH UTILITY PROVIDER REQUIREMENTS. COORDINATE WORK WITH UTILITY PROVIDERS. INSTALL TEMPORARY SHEETING AND SHORING TO PROTECT BUILDINGS AND UTILITIES FROM DAMAGE.
53.

UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.
54.

THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.
55.

THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.
56.

ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT. AFTER UTILITY INSTALLATION IS COMPLETED, THE CONTRACTOR SHALL INSTALL TEMPORARY AND/OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE DRAWINGS OR AS REQUIRED BY THE OWNER HAVING JURISDICTION.
57.

ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
58.

SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL, 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED, WHICH SHALL INCLUDE CONCRETE ENCASEMENT OF PIPING UNLESS OTHERWISE DIRECTED BY THE UTILITY PROVIDERS AND CIVIL ENGINEER.
59.

RELOCATION OF UTILITY PROVIDER FACILITIES SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY PROVIDER.
60.

THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED PER THE TRENCH DETAILS AND IN AREAS OF ROCK EXCAVATION.
61.

CONTRACTOR TO PROVIDE STEEL SLEEVES AND ANNULAR SPACE SAND FILL FOR UTILITY PIPE AND CONDUIT CONNECTIONS UNDER FOOTINGS.
62.

BUILDING UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE BUILDING MEP, STRUCTURAL, AND ARCHITECTURAL DRAWINGS AND WITH THE OWNER'S CONSTRUCTION MANAGER.
63.

ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY PROVIDER REQUIREMENTS.
64.

A ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM PIPING AND SANITARY SEWER WITH A CONCRETE ENCASEMENT. AN 18-INCH TO 6-INCH VERTICAL CLEARANCE BETWEEN SANITARY SEWER PIPING AND STORM PIPING SHALL REQUIRE CONCRETE ENCASEMENT OF THE PROPOSED PIPING.
65.

GRAVITY SANITARY SEWER PIPING AND PRESSURIZED WATERLINES SHALL BE LOCATED IN SEPARATE TRENCHES AT LEAST 10 FEET APART WHENEVER POSSIBLE. WHEN INSTALLED IN THE SAME TRENCH, THE WATER PIPE SHALL BE LAID ON A TRENCH BENCH AT LEAST 18 INCHES ABOVE THE TOP OF THE SANITARY SEWER PIPE AND AT LEAST 12 INCHES (PREFERABLY 18 INCHES) FROM THE SIDE OF THE SANITARY SEWER PIPE TRENCH.
66.

ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERALS SHALL CONFORM TO THE APPLICABLE WATER UTILITY PROVIDER SPECIFICATIONS, AND TO THE APPLICABLE SANITARY SEWER PROVIDER SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE INDUSTRY CODES (AWWA) AND PROJECT SPECIFICATIONS FOR POTABLE WATER SYSTEMS, AND FOR SANITARY SEWER SYSTEMS.
67.

SITE CONTRACTOR SHALL PROVIDE ALL BONDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
68.

MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE RIMS AND VALVE COVERS TO BE RAISED OR LOWEDED FLUSH WITH FINAL GRADE AS NECESSARY.
69.

SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
70.

CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO Pylon SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
71.

THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY PROVIDERS FOR WORK TO BE PERFORMED BY UTILITY PROVIDERS. THE CONTRACTOR SHALL PAY ALL UTILITY FEES UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATION MANUAL AND GENERAL CONDITIONS, AND REPAIR PAVEMENTS AS NECESSARY.
72.

ELECTRIC AND TELECOMMUNICATIONS SERVICES SHALL BE INSTALLED UNDERGROUND FROM SERVICE POLE WHERE INDICATED ON THE PLAN. THE CONTRACTOR SHALL PROVIDE AND INSTALL AND BACKFILL PVC CONDUITS FOR TELECOMMUNICATIONS SERVICE, PVC CONDUITS FOR ELECTRIC SERVICE PRIMARY, PVC CONDUITS FOR ELECTRICAL SECONDARY PER BUILDING ELECTRICAL PLANS, (SCHEDULE 80 UNDER PAVEMENT, SCHEDULE 40 IN NON PAVEMENT AREAS). SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 12" CLEAR SPACE BETWEEN. MINIMUM COVER IS 36" ON ELECTRIC CONDUITS, AND 24" ON TELECOMMUNICATIONS CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE AND SHALL BE BEDDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH ELECTRIC UTILITY PROVIDER, AND TELECOMMUNICATIONS COMPANY STANDARDS. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS, AS APPLICABLE. INSTALL HANDHOLES AS REQUIRED TO FACILITATE INSTALLATION AND AS REQUIRED BY UTILITY PROVIDER. INSTALL TRAFFIC LOAD QUALIFIED HANDHOLES IN VEHICULAR AREAS. INSTALL CONCRETE ENCASEMENT ON PRIMARY ELECTRIC CONDUITS IF REQUIRED BY ELECTRIC UTILITY PROVIDER.
73.

ALL WATER AND/OR SANITARY SEWER LATERALS SHALL CONFORM TO THE APPLICABLE SANITARY SEWER PROVIDER SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE INDUSTRY CODES (AWWA) AND PROJECT SPECIFICATIONS FOR POTABLE WATER SYSTEMS, AND FOR SANITARY SEWER SYSTEMS.
74.

PIPING SHALL BE LAID FROM DOWNGRADE END OF PIPE RUN IN AN UPGRADE DIRECTION WITH BELL END FACING UPGRADE IN THE DIRECTION OF PIPE LAYING.
75.

POLYVINYL CHLORIDE PIPE (PVC) FOR STORM PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC SHALL CONFORM TO ASTM D-3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS, ASTM D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
76.

MANHOLE SECTIONS AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
77.

HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER 12" OR GREATER IN DIAMETER SHALL BE H-0 SURE-LOK 10.8 PIPE AS MANUFACTURED BY HANCOR INC. OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO M24, TYPE S. PIPE SECTIONS SHALL BE JOINED WITH BELL-AND-SPOUT JOINT MEETING THE REQUIREMENTS OF AASHTO M234. THE BELL SHALL BE AN INTEGRAL PART OF THE PIPE AND PROVIDE A MINIMUM PULL-APART STRENGTH OF 400 POUNDS. THE JOINT SHALL BE WATERIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3012. GASKETS SHALL BE MADE OF POLYISOPRENE MEETING THE REQUIREMENTS OF ASTM F477. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.
78.

HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER LESS THAN 12" IN DIAMETER SHALL BE H-0 PIPE AS MANUFACTURED BY HANCOR INC. OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO M250, TYPE S. PIPE SECTIONS SHALL BE JOINED WITH COUPLER OR EXTERNAL SHARP COUPLERS COVERING AT LEAST 2 FULL CORRUGATIONS ON EACH END OF THE PIPE. SLT-TIGHT (GASKET) CONNECTIONS SHALL INCORPORATE A CLOSED SYNTHETIC EXPANDED RUBBER GASKET. MEETING THE REQUIREMENTS OF AASHTO D1056 GRADE 2A2. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.
79.

POLYVINYL CHLORIDE PIPE (PVC) FOR SANITARY PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC SHALL CONFORM TO ASTM D3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS, ASTM D2321 AND MANUFACTURER'S RECOMMENDED PROCEDURE.
80.

A RIGHT-OF-WAY PERMIT IS REQUIRED BEFORE STARTING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY
81.

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS. ALL PAVEMENT MARKINGS SHALL BE HOT THERMOPLASTIC.
82.

ALL STORM DRAINAGE PIPE SHALL BE SMOOTH INTERIORS UNLESS OTHERWISE NOTED.
83.

LOT OWNERS ARE REQUIRED TO MAINTAIN LOT GRADING AND SURFACE DRAINAGE PATTERNS AND CHARACTERISTICS IN ACCORDANCE WITH THE APPROVED PLAN.
84.

LOT OWNERS ARE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF SOIL EROSION CONTROL MEASURES.
85.

MANHOLE COVERS FOR STORM MANHOLES SHALL BE CAST WITH THE WORD "STORM" FOR IDENTIFICATION PURPOSES.
86.

CONSTRUCTION OF ALL WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY AN WORK RELATED TO STORM DRAINAGE FACILITIES REQUIRES INSPECTION BY THE TOWNSHIP. PROVIDE A MINIMUM OF 48 HOURS NOTICE TO THE TOWNSHIP BEFORE STARTING WORK.
87.

CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE TOWNSHIP ENGINEER AT LEAST 48 HOURS PRIOR TO STARTING SITE CONSTRUCTION ACTIVITIES.
88.

SITE DISTURBANCE IS PERMITTED TO START ONLY IF AND WHEN SUFFICIENT TIME IS AVAILABLE TO STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PADEP REQUIREMENTS AND WITH THE APPROVED PLAN.
89.

APPROVED STORMWATER MANAGEMENT SITE PLANS APPROVED BY LOWER ALLEN TOWNSHIP SHALL BE ON-SITE FOR THE DURATION OF THE REGULATED ACTIVITY.
90.

NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, OR ALTER ANY STORMWATER MANAGEMENT BMP'S, FACILITIES, AREAS, STRUCTURES, OR EASEMENTS WITHOUT THE WRITTEN APPROVAL OF THE MUNICIPALITY.
91.

THE MUNICIPAL ENGINEER OR HIS/HER DESIGNEE SHALL BE PERMITTED TO INSPECT ALL PHASES OF THE INSTALLATION OF THE PERMANENT STORMWATER MANAGEMENT FACILITIES AND BMP'S.
92.

THE MUNICIPAL ENGINEER OR HIS/HER DESIGNEE SHALL BE PERMITTED TO INSPECT ALL PHASES OF THE SITE DEVELOPMENT WORK IN PROGRESS TO INSURE COMPLIANCE WITH EROSION AND SEDIMENT CONTROL REQUIREMENTS. INSPECTION FUNCTIONS UNDER THIS SECTION MAY BE DELEGATED BY THE MUNICIPALITY TO ANOTHER ENTITY, IF SUCH AGREEMENT IS ENTERED INTO BY THE MUNICIPALITY.

93.

DURING ANY STAGE OF THE WORK, IF THE MUNICIPAL ENGINEER DETERMINES THAT THE PERMANENT STORMWATER MANAGEMENT FACILITIES OR BMP'S ARE NOT BEING INSTALLED IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT SITE PLAN, THE MUNICIPALITY SHALL REVOKE ANY EXISTING MUNICIPAL PERMITS AND/OR ISSUE A STOP-WORK ORDER UNTIL A REVISED STORMWATER MANAGEMENT SITE PLAN IS SUBMITTED AND APPROVED, AS SPECIFIED IN THIS CHAPTER.
94.

UPON PRESENTATION OF PROPER CREDENTIALS, DULY AUTHORIZED REPRESENTATIVES OF THE MUNICIPALITY MAY ENTER AT REASONABLE TIMES UPON ANY PROPERTY WITHIN THE MUNICIPALITY TO INSPECT THE IMPLEMENTATION, CONDITION OR OPERATION OF THE STORMWATER BMP'S IN REGARD TO ANY ASPECT GOVERNED BY THIS CHAPTER.
95.

BMP OWNERS AND OPERATORS SHALL ALLOW PERSONS WORKING ON BEHALF OF THE MUNICIPALITY READY ACCESS TO ALL PARTS OF THE PREMISES FOR THE PURPOSES OF DETERMINING COMPLIANCE WITH THIS CHAPTER.
96.

PERSONS WORKING ON BEHALF OF THE MUNICIPALITY SHALL HAVE THE RIGHT TO TEMPORARILY LOCATE ON ANY BMP IN THE MUNICIPALITY SUCH DEVICES AS ARE NECESSARY TO CONDUCT MONITORING AND/OR SAMPLING OF THE DISCHARGES FROM SUCH BMP.
97.

UNREASONABLE DELAYS IN ALLOWING THE MUNICIPALITY ACCESS TO A BMP IS A VIOLATION OF THIS CHAPTER.
98.

APPLICANT AND OWNER ACKNOWLEDGE THAT CERTAIN SITE IMPROVEMENTS DEPICTED ON THIS PLAN, INCLUDING BUT NOT LIMITED TO ACCESSIBLE PARKING SPACES, ACCESSIBLE ROUTE TO THE BUILDING AND FREESTANDING SIGNS, THAT REQUIRE APPROVAL UNDER REGULATIONS CONTAINED IN THE PA UNIFORM CONSTRUCTION CODE AND/OR LOWER ALLEN TOWNSHIP ZONING CODE MUST BE INSTALLED IN ACCORDANCE WITH SEPARATE PERMIT APPROVALS GRANTED UNDER THOSE REGULATIONS.

DEFINITIONS

MUNICIPALITY SHALL MEAN LOWER ALLEN TOWNSHIP

COUNTY SHALL MEAN CUMBERLAND COUNTY

STATE SHALL MEAN PENNSYLVANIA

SANITARY UTILITY PROVIDER SHALL MEAN LOWER ALLEN TOWNSHIP AUTHORITY

WATER UTILITY PROVIDER SHALL MEAN PENNSYLVANIA AMERICAN WATER

GAS UTILITY PROVIDER SHALL MEAN UGI

ELECTRIC UTILITY PROVIDER SHALL MEAN PPL ELECTRIC



718 North Front Street
Wormleysburg, PA 17043
(717) 723-3326

CLOUD10 CAR WASH
1852 CAMP HILL, LLC
3556 GETTYSBURG ROAD
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

REVISIONS		Description / Reason
No.	Date	
1	12/09/2022	REVISED PER TOWNSHIP & COUNTY COMMENTS
2	03/03/2023	REVISED PER TOWNSHIP COMMENTS
3	03/17/2023	REVISED PER APPROVED TOST / ASSED FOR CONSTRUCTION

Designer C.J.S.
Drafter C.J.S.
Reviewer A.J.D.
Scale N.T.S.
Project No. 220518
Date 10/14/2022
CAD File: GN2218_P01

Sheet Title

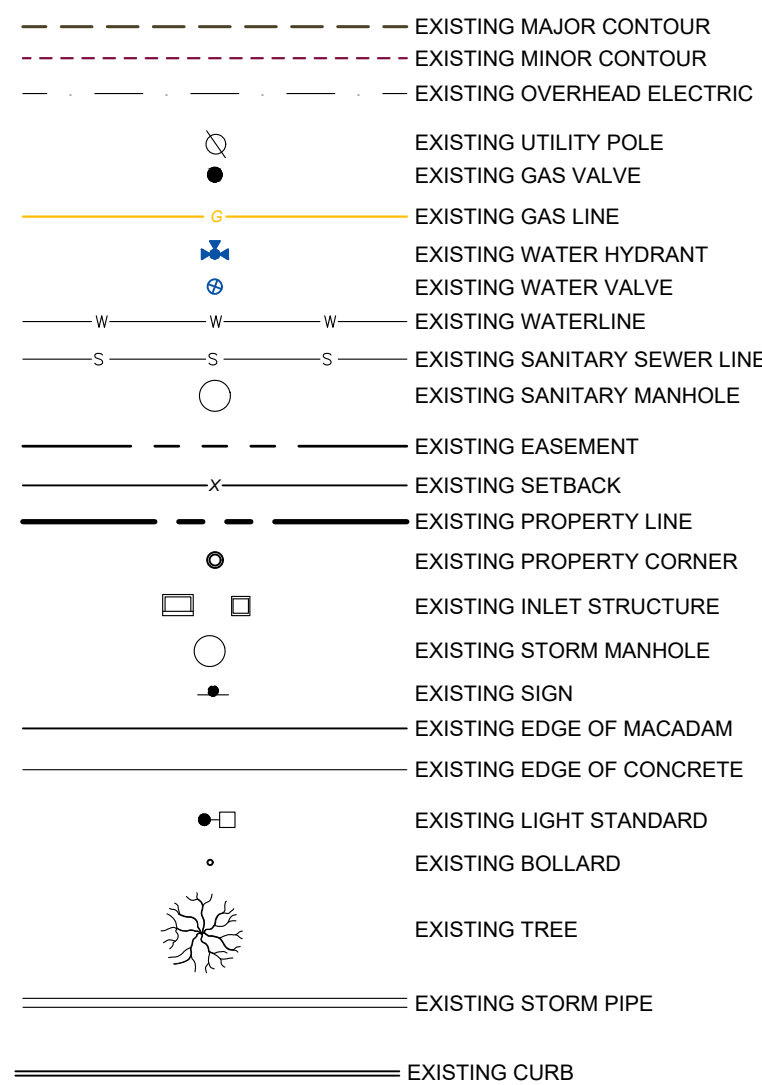
GENERAL NOTES

Sheet Number

GN-1

2 OF 20

LEGEND



SURVEY NOTES

- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ARE BASED ON A FIELD SURVEY PERFORMED BY TERRAVIZ GEOSPATIAL INC., COMPLETED IN OCTOBER, 2022.
- CONTOURS AND ELEVATIONS ARE BASED ON NATIONAL AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- BEARINGS ARE BASED ON PENNSYLVANIA STATE PLANE COORDINATES, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
- UTILITY LOCATIONS ARE BASED ON SURFACE EVIDENCE AND LIMITED PA ONE-CALL MARKINGS EVIDENT AT THE TIME OF THE FIELD SURVEY. PA ONE-CALL SERIAL NO. 20222762511 AND WAS ASSIGNED ON OCTOBER 03, 2022.
- THE SUBJECT PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN THE 100-YEAR FLOODPLAIN AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWNSHIP OF LOWER ALLEN, MAP NO. 42075C0254E, EFFECTIVE DATE MARCH 16, 2009.

Lower Allen Drive S.R. 2047
(Variable Width Right-of-Way)

Sanitary Manhole
Rim = 406.07'
Inv. In = 401.25'
Inv. In = 401.16'
Inv. Out = 400.97'

Storm Inlet
Grate = 404.83'
Inv. In = 400.76'
Inv. In = 400.72'
Inv. In = 400.67'
Inv. Out = 400.53'

Storm Inlet
Grate = 404.62'
Inv. Out = 400.74'
18" RCP

Concrete Disk
With Drill Hole
Found

Tele. Manhole
Rim = 406.24'

"Lane Designation"

Existing Sewer Right of Way
Misc Book 250 Pg 284

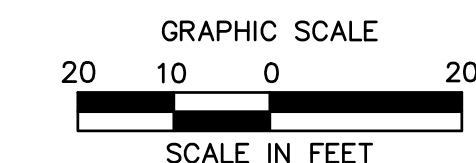
49.9' CARTWAY

Sign "Left Lane Must Turn Left"

Sign "No Parking"

30' Access Easement
Deed Book N-26 Page 476

Old Gettysburg Road S.R. 2027
(Variable Width Right-of-Way)



N/F Sheker Family Limited
Tax Parcel 13-23-0553-064
Deed Book 240 Page 525
Plan Book 31 Page 114 Lot#3A

Existing 20' Access Easement
Deed Book N-26 Page 476

N/F Pennsylvania Center Company
Tax Parcel 13-23-0553-062

Zimmerman Drive
(Private Drive)

Sanitary Wet Well
Sanitary Valve Pit
Sanitary Sewer Line

30' Access Easement
Deed Book N-26 Page 476

N/F Deem Guys
Tax Parcel 13-23-0553-069
Deed Book 276 Page 3815
Plan Book 79 Page 28 Lot#2A

N/F Barry Pagliaro Sr.
Tax Parcel 13-23-0553-067
Deed Ref. - 202034434
Plan Book 27 Pg26 - Lot 5
Containing: 48,821 Sq. Ft. / 1.12 Acres

N/F
Shover Investment Group 3 LLC
Deed Instrument # 201707559
Plan Book 79 Page 28 Lot#2
Tax Parcel No. 13-23-0553-068
Net Area = 50,094 Sq. Ft. / 1.15 AC.

1 Story Building
F.F.E. = 407.01'

Rebar Found

48' Building Setback per Plan 27-122

Storm Inlet
Grate = 405.30'
Inv. In = 403.13'

30' Building Setback per Plan 79-28

Existing Sewer Easement
Plan Book 10 Page 76

REVISIONS		Description / Reason
No.	Date	REVISIONS
1	12/09/2022	REVISED PER TOWNSHIP & COUNTY COMMENTS
2	03/03/2023	REVISED PER TOWNSHIP COMMENTS
3	03/17/2023	REVISED PER APPROVED TCR / ISSUED FOR CONSTRUCTION






Designer	P.W.
Drafter	P.W.
Reviewer	M.J.D.
Scale	1" = 20'
Project No.	220518
Date	10/03/2022

Sheet Title
EXISTING
CONDITIONS
PLAN

Sheet Number

EX-1

DEMOLITION PLAN LEGEND

	PROPERTY LINE
XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX	EXISTING UTILITY / STORMWATER LINE TO BE REMOVED
	PAVEMENT / CONCRETE TO BE REMOVED
	BUILDING / CANOPY TO BE REMOVED
	MILL EXISTING PAVEMENT
	ITEM TO BE REMOVED
	ITEM TO BE PROTECTED

DEMOLITION NOTES

1. THE CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING, GRUBBING, AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
2. EROSION AND SEDIMENT CONTROLS AS SHOWN ON THE EROSION AND SEDIMENT POLLUTION CONTROL PLAN SHALL BE INSTALLED BY THE DEMOLITION CONTRACTOR PRIOR TO START OF DEMOLITION, AND CLEARING AND GRUBBING OPERATIONS.
3. REMOVE AND DISPOSE OF ANY DEMOLITION MATERIAL, DEBRIS, AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF-SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.
4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
5. THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
6. THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG ALL SERVICE PIPING AS REQUIRED OR AS OTHERWISE HEREON. SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT, OR PLUGGED. THE OWNER SHALL PAY ALL UTILITY COMPANY PROVIDER FEES FOR ABANDONMENT AND REMOVALS.
7. THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS, AND PROPERTY CORNERS DURING DEMOLITION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND/OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
8. THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF HIS WORK UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEMAND NEEDED BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENT POLLUTION CONTROLS AND FOR INSTALLATION OF ANY NEW EROSION AND SEDIMENT POLLUTION CONTROLS AS PER THE EROSION AND SEDIMENT POLLUTION CONTROL PLAN, AT THAT TIME.
9. THE CONTRACTOR SHALL ADHERE TO ALL OHIO, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN OR OVERHEAD OR NEARBY. THE CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES. CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID BY THE CONTRACTOR.
10. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARBERS, SIGNS, LIGHTS, FENCES, AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED OR ORDERED BY THE ENGINEER, OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.
11. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY, AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ALL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION THE CONTRACTOR SHALL CONTACT PENNSYLVANIA ONE CALL 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK AT (800) 242-1776 AND VERIFY ALL UTILITY AND DRAINAGE LOCATIONS.
12. THE CONTRACTOR SHALL PROVIDE DISCONNECT NOTIFICATION TO ALL UTILITIES LISTED WITHIN THE PA ONE-CALL INFORMATION AT LEAST THREE WEEKS PRIOR TO BEGINNING DEMOLITION.
13. BACKFILL AND COMPACT DEPRESSION, DRAINAGE HOLES AND REMOVED DRIVEWAY AREAS WITH APPROVED SOIL MATERIAL, FERTILIZE, SEED, AND RE-ESTABLISHED AREAS SUBJECT TO FURTHER SITE CONSTRUCTION. BUILDING FOUNDATION AREA TO BE BACKFILLED IN 4" LIFTS WITH GRAVEL FILL, OR MATERIAL SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT, COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT ±3% OF OPTIMUM MOISTURE CONTENT. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
14. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, DRAINAGE STRUCTURE, SWALE, OR LANDSCAPE AREAS DISTURBED DURING DEMOLITION TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE OWNER, MUNICIPALITY, AND PENNDOT.
15. THE CONTRACTOR SHALL CUT AND REMOVE AT LUMINAIRE AND SIGN LOCATIONS ANY PROTRUDING CONDUITS TO 24" BELOW GRADE. THE CONTRACTOR SHALL REMOVE ALL CABLE AND CONDUCTORS FROM REMAINING LIGHTING AND SIGNING CONDUITS TO BE ABANDONED. ANY REMAINING LIGHTING TO REMAIN IN PLACE SHALL BE REGRouted OR REWIRED AS NECESSARY TO REMAIN IN OPERATION.
16. NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH THE OWNER AND THE PROJECT ENGINEER IS PERFORMED. THE CONTRACTOR SHOULD BE AWARE OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS, AS WELL AS HAVE ONE CALL. DO MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.
17. THE CONTRACTOR OR DEMOLITION CONTRACTOR SHALL INSTALL TEMPORARY SHEETING OR SHORING AS NECESSARY FOR PROTECTION DURING CONSTRUCTION AND DEMOLITION. SHEETING OR SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, LICENSE IN THIS STATE AND EVIDENCE OF SUCH SUBMITTED TO THE OWNER PRIOR TO INSTALLATION.
18. NO SALVAGE SHALL BE PERMITTED UNLESS PAID TO THE OWNER AS A CREDIT.
19. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURING AND/OR DAMAGES TO PERSONNEL, EQUIPMENT, AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
20. THE CONTRACTOR SHALL COMPLY WITH OTR29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
21. THE CONTRACTOR SHALL NOT COMMENCE DEMOLITION OR UTILITY DISCONNECTIONS UNTIL AUTHORIZED TO DO SO BY THE OWNER.
22. CARE SHOULD BE TAKEN TO PREVENT DUST AND DEBRIS FROM LEAVING THE BOUNDARIES OF THE PROPERTY.
23. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL, AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
24. ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SHALL BE RAZED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET, ARCHITECTURAL PLANS, AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS.
25. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
26. UTILITY CANARDS ARE LISTED ON SHEET CV-1.
27. ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON-SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
28. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
29. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NATURALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO COMPLETE SUCH WORK.

Lower Allen Drive S.R. 2047
(Variable Width Right-of-Way)

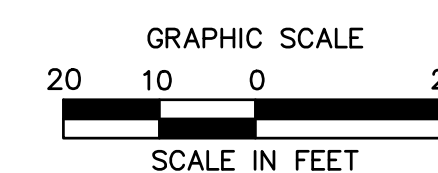
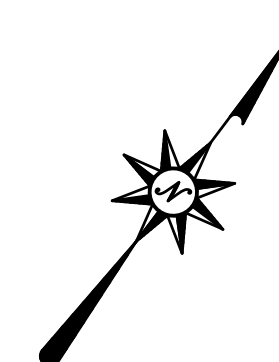
EXISTING SECTION OF

EXISTING TRAIL BE REM

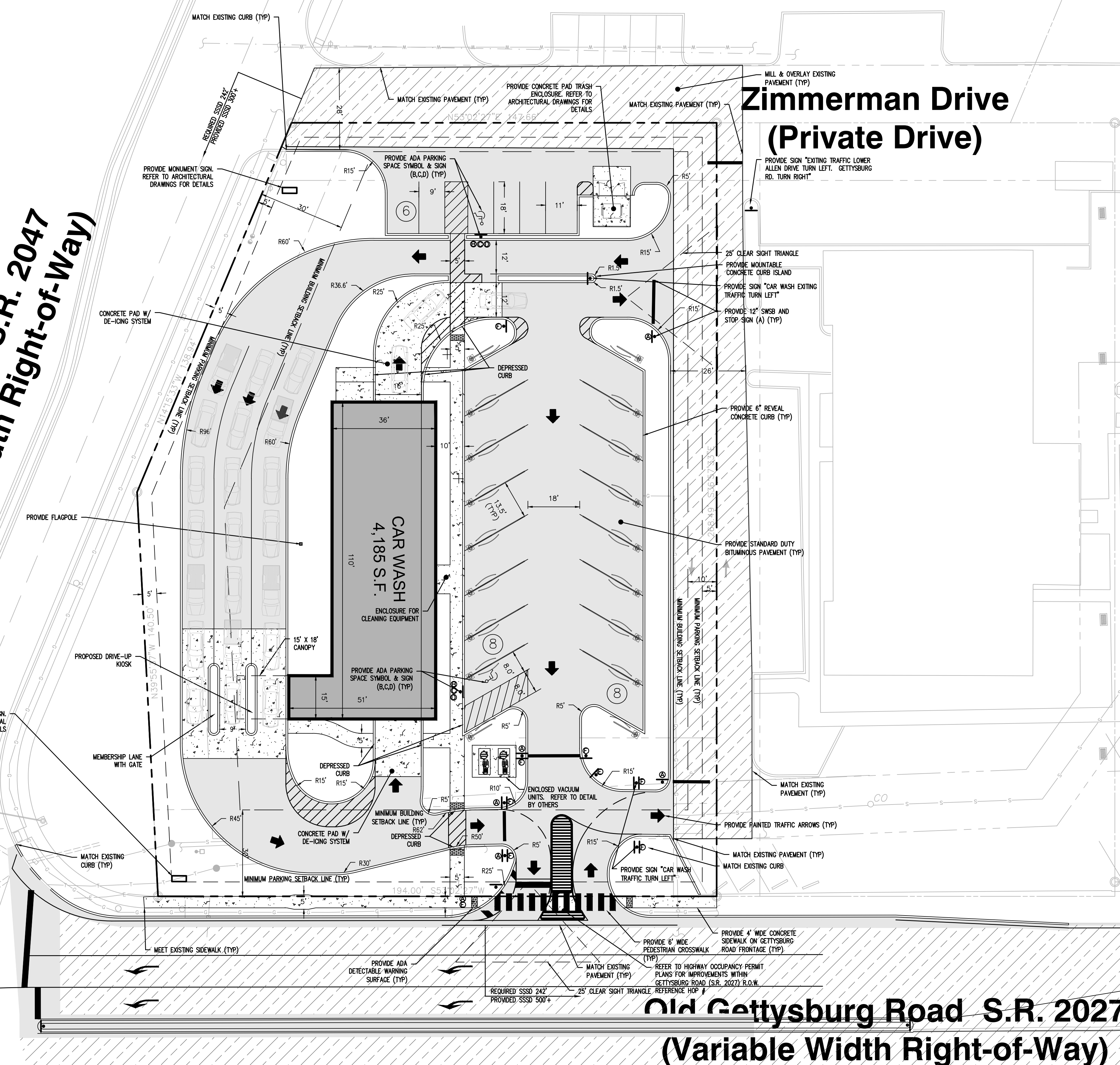
EXISTING SIGN TO BE PROTECTED

Zimmerman Drive
(Private Drive)

Old Gettysburg Road S.R. 2027 (Variable Width Right-of-Way)



Lower Allen Drive S.R. 2047
(Variable Width Right-of-Way)



Old Gettysburg Road S.R. 2027
(Variable Width Right-of-Way)

ZONING INFORMATION

LOCATION: LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY				
ZONE: REGIONAL COMMERCIAL DISTRICT (C-4)				
USE: CAR WASH (PERMITTED USE)				
ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	MINIMUM LOT AREA	NONE REQUIRED	1.15 AC	NO
2	MINIMUM LOT WIDTH	50 FEET	109 FEET	NO
3	MINIMUM FRONT SETBACK	30 FEET	30 FEET	NO
4	MINIMUM SIDE SETBACK	10 FEET	10 FEET	NO
5	MINIMUM REAR SETBACK	35 FEET	N/A	NO
6	MAXIMUM BUILDING HEIGHT	75 FEET	< 75 FEET	NO
7	MAXIMUM BUILDING COVERAGE*	70 PERCENT	*83.7 PERCENT EXISTING 77.4 PERCENT PROPOSED	NO

NOTE: THE SITE IS PROPOSED TO BE SERVICED BY PUBLIC SEWER AND WATER.

- * EXISTING IMPERVIOUS COVERAGE IS 83.7%, WHICH MAKES THIS REQUIREMENT AN EXISTING NONCONFORMITY. THE PLAN DOES NOT PROPOSE TO INCREASE THE IMPERVIOUS COVERAGE FURTHER FROM WHAT IS EXISTING.
PROPOSED IMPERVIOUS COVERAGE = 39,356 SQUARE FEET
- ** THE EXISTING PARKING STALLS LOCATED ALONG ZIMMERMAN DRIVE ARE AN EXISTING NON-CONFORMITY.
- *** EXISTING PARKING STALLS ENCRoACH WITHIN 5 FEET OF THE PROPERTY LINE ALONG LOWER ALLEN DRIVE WHICH CREATES AN EXISTING NON-CONFORMITY.

PARKING INFORMATION

ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	PARKING REQUIRED	VEHICULAR WASH: 2 SPACES PER WASH LANE IN ADDITION TO STACKING LINES. REQUIRED PARKING: 2 SPACES REQUIRED STACKING AREA: 4 VEHICLE LENGTHS PER BAY AT ENTRANCE, 2 VEHICLE LENGTHS PER BAY AT EXIT.	PROPOSED PARKING: 6 SPACES ENTRANCE STACKING: 21+ VEHICLES EXIT STACKING: 3+ VEHICLES	NO
2	MINIMUM ADA PARKING SPACES REQUIRED	1 SPACE	1 SPACE	NO
3	MINIMUM PARKING DIMENSIONS	9 FEET X 18 FEET	9 FEET X 18 FEET	NO
4	MINIMUM AISLE WIDTH	24 FEET - 2-WAY 18 FEET - 1-WAY (60' PARKING) 12 FEET - 1-WAY (NO PARKING)	24 FEET - 2-WAY 18 FEET - 1-WAY (60' PARKING) 12/16 FEET - 1-WAY (NO PARKING)	NO
5	MINIMUM PARKING SETBACK*	5 FEET FROM LOT LINE 10 FEET FROM BUILDING	5 FEET 10 FEET	NO

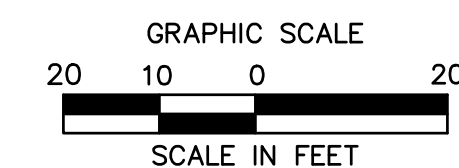
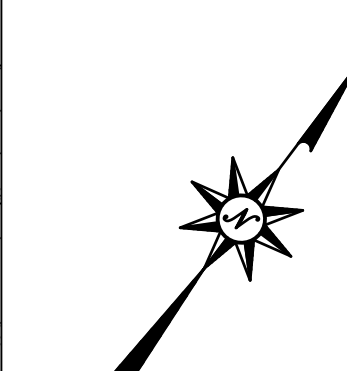
SIGN LEGEND

SIGN NO.	QUANTITY	PENNDOT NO. / SIZE
A	6	R1-1 30"x30"
B	2	R7-8 12"x18"
C	2	R7-8F 12"x18"
D	2	R7-8P 12"x8"
E	2	R3-2 24"x24" (NO LEFT TURN)
F	7	R5-1 30"x30" (DO NOT ENTER)

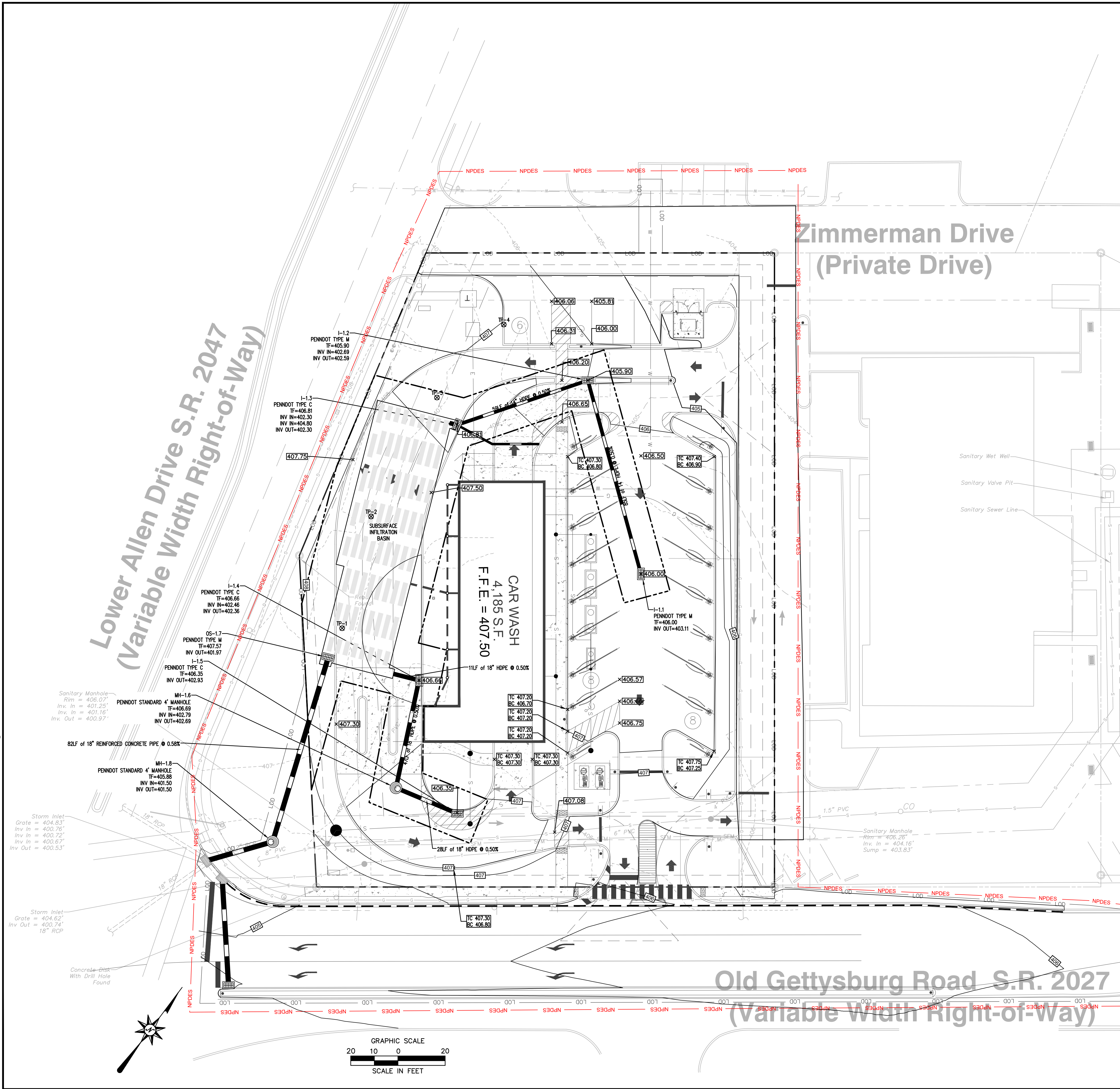
NOTE: ALL SIGNS MUST COMPLY WITH THE REQUIREMENTS OF ARTICLE XXV OF LOWER ALLEN TOWNSHIP

SITE PLAN LEGEND

---	PROPERTY LINE
---	BUILDING SETBACK LINE
---	PARKING SETBACK LINE
---	PROPOSED CURB
---	PROPOSED STANDARD DUTY PAVEMENT
---	PROPOSED MILL AND OVERLAY
---	PROPOSED CONCRETE
---	PROPOSED SIGN



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GRADING AND STORMWATER PLAN LEGEND

---	LOD	---	LOD	---	PROPERTY LINE
---	NPDES	---	NPDES	---	NPDES PERMIT BOUNDARY
---	NPDES	---	NPDES	---	PROPOSED STORM CONVEYANCE LINE
---	NPDES	---	NPDES	---	PROPOSED CATCH BASIN
---	NPDES	---	NPDES	---	PROPOSED STORM MANHOLE
---	NPDES	---	NPDES	---	PROPOSED FLARED END SECTION
---	NPDES	---	NPDES	---	PROPOSED ENDWALL OR HEADWALL
---	NPDES	---	NPDES	---	PROPOSED MAJOR CONTOUR
---	NPDES	---	NPDES	---	PROPOSED MINOR CONTOUR
---	NPDES	---	NPDES	---	PROPOSED SPOT ELEVATION
---	NPDES	---	NPDES	---	ABBREVIATIONS
---	NPDES	---	NPDES	---	TC = TOP OF CURB
---	NPDES	---	NPDES	---	BC = BOTTOM OF CURB
---	NPDES	---	NPDES	---	TW = TOP OF WALL
---	NPDES	---	NPDES	---	BW = BOTTOM OF WALL
---	NPDES	---	NPDES	---	PROPOSED SURFACE SLOPE

OPERATION & MAINTENANCE OF BMPs

- THE PURPOSE OF THESE INSTRUCTIONS IS TO IDENTIFY THE OWNERSHIP AND MAINTENANCE ACTIVITIES ASSOCIATED WITH THE PROPOSED SUBSURFACE INFILTRATION BASIN AND COLLECTION/CONVEYANCE SYSTEM. THE AFOREMENTIONED FACILITIES SHALL BE THE RESPONSIBILITY OF THE PERMIT APPLICANT (PERMITTEE).
- ALL PCSM BMPs WILL BE INSPECTED ACCORDING TO THE SCHEDULES LISTED BELOW. A WRITTEN REPORT MUST BE COMPLETED DOCUMENTING EACH INSPECTION AND ANY REPAIR, REPLACEMENT, OR MAINTENANCE ACTIVITY.
- SOIL, TRASH, DEBRIS, OR OTHER MATERIALS REMOVED FROM PCSM BMPs SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET SEQ. NO WASTES, UNUSED BUILDING MATERIALS, OR OTHER MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- ALL DAMAGED OR NON-FUNCTIONAL BMPs SHALL BE REPAIRED IMMEDIATELY. ANY PCSM BMPs THAT CANNOT BE REPAIRED MUST BE REPLACED AS SOON AS PRACTICABLE.
- THE PERMIT APPLICANT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF PERMANENT STORMWATER FACILITIES LOCATED ON THE SUBJECT PROPERTY. PERMANENT MAINTENANCE OF THE STORM SYSTEM AFTER ACCEPTANCE WILL PRIMARILY CONSIST OF ROUTINE CLEANING OF ACCUMULATED SEDIMENT AND DEBRIS BY FACILITIES STAFF OR PRIVATE CONTRACTORS. THE SPECIFIC MAINTENANCE STEPS AND SCHEDULES ARE LISTED BELOW:

NOTES

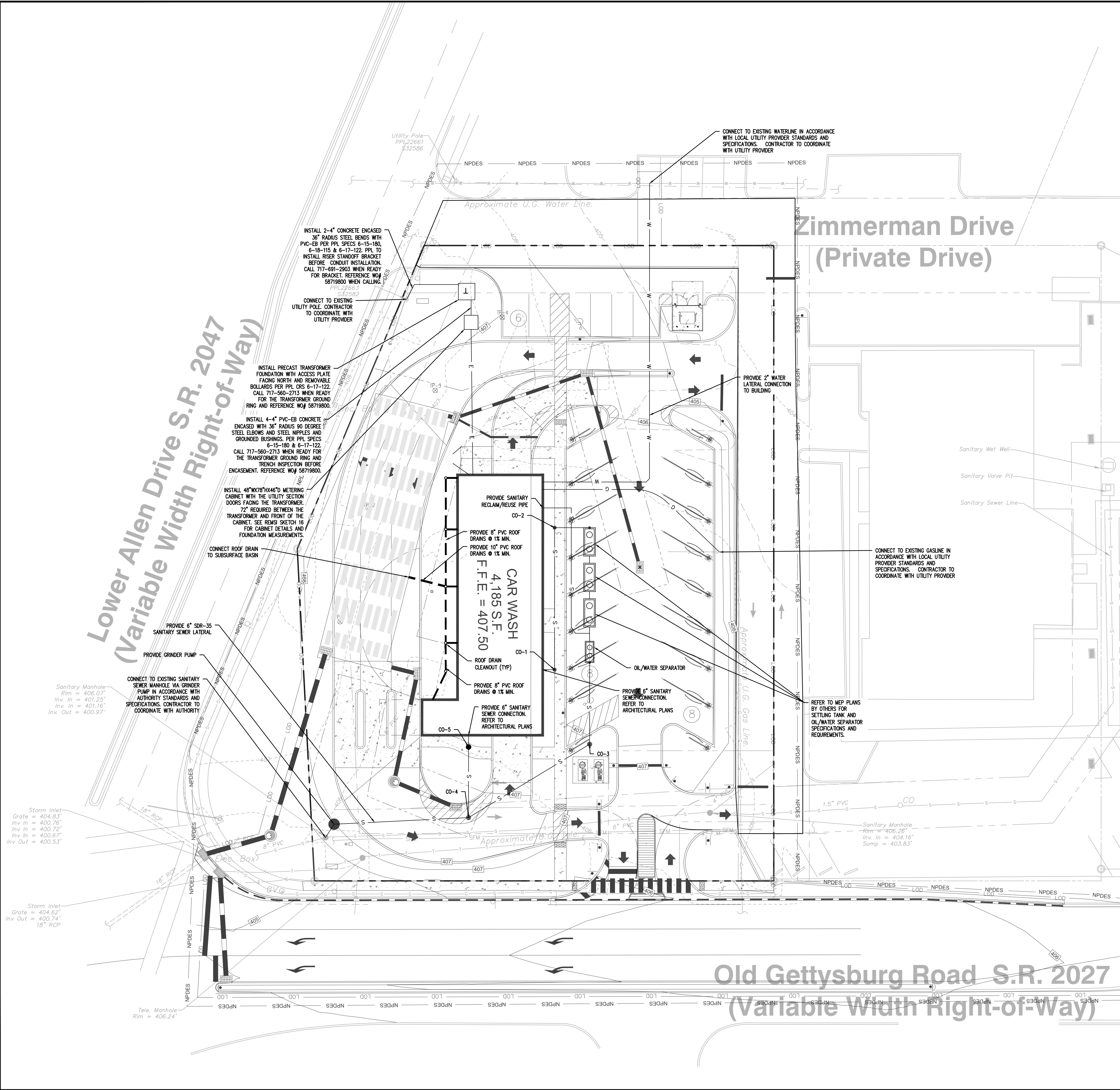
- STORMWATER CONSERVATION EASEMENTS SHALL BE PROVIDED FOR ALL PHYSICAL STORMWATER MANAGEMENT FACILITIES AND CONVEYANCE FACILITIES. EASEMENTS ARE DEPICTED ON THE PLAN A MINIMUM OF 20' IN WIDTH, CENTERED ON THE FACILITIES WITHIN THE EASEMENT, AND SHALL EXTEND A MINIMUM OF 5' BEYOND THE EDGE OF THE FACILITIES.
- THE LANDOWNER HEREBY GRANTS PERMISSION TO THE MUNICIPALITY, ITS AUTHORIZED AGENTS, AND EMPLOYEES ACCESS TO ANY AND ALL STORMWATER MANAGEMENT CONSERVATION EASEMENTS ON THE PROPERTY BY OFFERING A BLANKET EASEMENT.
- STORMWATER MANAGEMENT CONSERVATION EASEMENTS FOR CONVEYANCE FACILITIES SHALL BE LOCATED AND OFFSET FROM THE CENTER OF THE RESPECTIVE CONVEYANCE FACILITY AS INSTALLED.

SUBSURFACE BASIN CONSTRUCTION NOTES

- IF REDOXIMORPHIC FEATURES (SOIL MOTTLING AND COLORATION PATTERNS FORMED BY THE REDUCTION OF IRON AND/OR MANGANESE FROM SATURATED CONDITIONS IN THE SOIL) ARE ENCOUNTERED:
 - A QUALIFIED PROFESSIONAL SHOULD DETERMINE IF THE FEATURES OBSERVED ARE ASSOCIATED WITH A HISTORIC CONDITION (ASSOCIATED WITH FILL, PREVIOUS SITE CONDITION, OR NATURAL COLORATION) OR ARE ASSOCIATED WITH CONDITIONS THAT COULD PRESENTLY OCCUR (SEASONAL VARIATIONS IN THE WATER TABLE).
 - EVALUATION OF THE ELEVATION OF THE FEATURES RELATIVE TO THE PROPOSED DESIGN ELEVATION OF THE SWM FEATURE AND DETERMINE IF THE SIZE AND ELEVATION OF THE SWM FEATURE CAN BE ADJUSTED TO ALLEVIATE THE CONFLICT.
 - RETAIN EGS AND CIVIL ENGINEER TO EVALUATE ALTERNATE DESIGN CONCEPTS. ALTERNATE DESIGNS PROPOSED BY THE PROFESSIONAL SHOULD BE SEALED AND SUBMITTED TO THE TOWNSHIP FOR APPROVAL.
- IF THE FIELD VERIFIED INFILTRATION RATES ARE EXCESSIVELY HIGH (GREATER THAN 6 INCHES PER HOUR):
 - DETERMINE THE EXTENT OF THE MATERIALS EXHIBITING THE HIGH INFILTRATION RATES THROUGH A COMBINATION OF VISUAL-MANUAL CLASSIFICATION, HAND PROBING, DENSITY TESTING, OR OTHER SUITABLE METHODS DETERMINED BY EGS.
 - OVEREXCAVATE THE MATERIALS TO THE DEPTH WHERE THE MATERIAL TYPE CHANGES OR A MAXIMUM DEPTH OF 2 FEET, WHICHEVER IS ENCOUNTERED FIRST.
 - IF EXCESSIVE RATES ARE ASSOCIATED WITH WEATHERED OR BROKEN ROCK, THE ROCK SURFACE SHOULD BE EXAMINED BY EGS. PRIOR TO REPLACEMENT OF SUITABLE MATERIAL.
 - REPLACE THE EXCAVATED MATERIAL WITH FINER GRAINED MATERIALS APPROVED BY EGS. SUITABLE SOIL MIXTURES CAN CONSIST OF A BLEND OF ON-SITE AND/OR OFF-SITE MATERIALS AVAILABLE TO THE CONTRACTOR GENERAL CONFORMING TO THE SPECIFICATIONS BELOW, WITH FIELD INFILTRATION RATES POST-PLACEMENT DETERMINED AND APPROVED BY EGS.
 - SANDY/LOAMY SAND, SANDY LOAM
 - SAND - MIN. 50%, MAX. 100%
 - SILT - MIN. 0%, MAX. 50%
 - CLAY - MIN. 0%, MAX. 20%
 - INFILTRATION RATE - 0.5 TO 6.0 INCHES PER HOUR
 - MATERIALS SHOULD BE LIGHTLY TRACKED INTO PLACE IN NON-STRUCTURAL AREAS.
 - IF MATERIAL PLACEMENT IS REQUIRED IN STRUCTURAL AREAS (EX. BELOW-GRADE SWM FACILITIES IN PAVED AREAS), MATERIAL PLACEMENT SPECIFICATIONS, INCLUDING MATERIALS TYPE, MIX RATIO, COMPACTIVE EFFORT AND REQUIRED DENSITY SHOULD BE DETERMINED BY EGS. TECHNICAL RECOMMENDATIONS SHOULD BE SEALED BY EGS AND SUBMITTED TO THE TOWNSHIP FOR APPROVAL.
- IF THE FIELD VERIFIED INFILTRATION RATES ARE EXCESSIVELY LOW (LESS THAN 0.1 IN/HR):
 - DETERMINE THE EXTENT OF THE MATERIALS EXHIBITING LOW INFILTRATION RATES THROUGH A COMBINATION OF VISUAL-MANUAL CLASSIFICATION, HAND PROBING, DENSITY TESTING, OR OTHER SUITABLE METHODS AS DETERMINED BY EGS.
 - OVEREXCAVATE THE MATERIALS TO THE DEPTH WHERE THE MATERIAL TYPE CHANGES OR A MAXIMUM DEPTH OF 2 FEET, WHICHEVER IS ENCOUNTERED FIRST.
 - IF BEDROCK IS ENCOUNTERED, THE ROCK SHOULD BE REMOVED TO A MINIMUM DEPTH OF 2 FEET BELOW THE BOTTOM OF BASIN AND SHOULD BE EXAMINED BY EGS. PRIOR TO PLACEMENT OF SUITABLE MATERIAL.
 - REPLACE THE EXCAVATED MATERIAL WITH MORE COARSELY GRAINED MATERIALS APPROVED BY EGS. SUITABLE SOIL MIXTURES CAN CONSIST OF A BLEND OF ON-SITE AND/OR OFF-SITE MATERIALS AVAILABLE TO THE CONTRACTOR, AND SUBJECT TO TESTING AND APPROVAL OF EGS.
 - SUITABLE SOIL MIXTURES MAY CONSIST OF MATERIALS BLENDED BY VOLUME RATIOS AS DETERMINED BY EGS.
 - MATERIALS SHOULD BE LIGHTLY TRACKED INTO PLACE IN NON-STRUCTURAL AREAS.

SUBSURFACE INFILTRATION BASIN		STORMWATER COLLECTION/CONVEYANCE	
OPERATION & MAINTENANCE PROCEDURES		OPERATION & MAINTENANCE PROCEDURES	
ACTIVITY	SCHEDULE	ACTIVITY	SCHEDULE
UPGRADIENT CATCH BASINS AND INLETS SHOULD BE INSPECTED AND CLEANED.	QUARTERLY	INLETS & CATCH BASINS SHOULD BE CLEANED OF DEBRIS IF TRASH OR DEBRIS IS DISCOVERED, REMOVED FROM FACILITIES. REPAIRS SHOULD BE MADE AS SOON AS PROBLEMS ARISE.	CLEAN ONCE PER YEAR & REPAIR AS NEEDED
THE VEGETATION FOR CONTRIBUTING DRAINAGE AREA SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED.	QUARTERLY	INSPECT OUTFALL STRUCTURES FOR DEBRIS, CLOGGING, AND FUNCTIONALITY. IF PROBLEM ARISES, REMOVE DEBRIS, UNCLOG WITH VACUUM AND/OR CONTACT SITE ENGINEER, RESPECTIVELY. INSPECTION SHALL OCCUR QUARTERLY WITHIN FIRST YEAR AND ONCE PER YEAR THEREAFTER.	QUARTERLY & ONCE PER YEAR
INSPECT AFTER RUNOFF EVENTS GREATER THAN 2.0 INCH AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN NO MORE THAN 3 DAYS.	TWICE PER YEAR	INSPECT COLLECTION/CONVEYANCE SYSTEMS FOR DEBRIS, CLOGGING, AND FUNCTIONALITY. IF PROBLEM ARISES, REMOVE DEBRIS, UNCLOG WITH VACUUM AND/OR CONTACT SITE ENGINEER, RESPECTIVELY. INSPECTION SHALL OCCUR BIANNUALLY AT A MINIMUM.	TWICE PER YEAR
INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, EROSION, SIGNS OF WATER CONTAMINATION/SPILLS, AND INSTABILITY. LEAF LITTER NEEDS TO BE REMOVED ANNUALLY.	QUARTERLY	GENERAL MAINTENANCE NOTES: 1. VACTOR TRUCKS MAY BE AN EFFICIENT CLEANING MECHANISM. 2. CATCH BASINS SHOULD BE CLEANED BEFORE HALF FULL.	

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SITE UTILITIES PLAN LEGEND

---	LOD	---	LOD	---	PROPERTY LINE
---	E	---	E	---	LIMIT OF DISTURBANCE
---	G	---	G	---	PROPOSED ELECTRIC LINE
---	W	---	W	---	PROPOSED TRANSFORMER
---	S	---	S	---	PROPOSED GAS LINE
---		---		---	PROPOSED WATER LINE
---		---		---	PROPOSED WATER VALVE
---		---		---	PROPOSED SANITARY SEWER LINE

NOTES

- SANITARY SEWER & STORMWATER EASEMENTS SHALL BE PROVIDED FOR ALL PHYSICAL SANITARY SEWER FACILITIES, STORMWATER CONVEYANCE FACILITIES AND STORMWATER MANAGEMENT BMP'S. EASEMENTS SHALL BE A MINIMUM OF 20' IN WIDTH, CENTERED ON THE FACILITIES WITHIN THE EASEMENT, AND SHALL EXTEND A MINIMUM OF 5' BEYOND THE EDGE OF THE FACILITIES.
- THE LANDOWNER HEREBY GRANTS PERMISSION TO THE MUNICIPALITY, ITS AUTHORIZED AGENTS, AND EMPLOYEES ACCESS TO ANY AND ALL SANITARY SEWER/STORMWATER EASEMENTS ON THE PROPERTY.
- SANITARY SEWER/STORMWATER EASEMENTS FOR CONVEYANCE FACILITIES SHALL BE LOCATED AND OFFSET FROM THE CENTER OF THE RESPECTIVE CONVEYANCE FACILITY AS INSTALLED.
- LOWER ALLEN TOWNSHIP AUTHORITY IS TO BE PROVIDED WITH MANUFACTURER DETAILS AND DESIGN INFORMATION OF THE SETTLING TANK AND OIL/WATER SEPARATOR FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

CLOUD10 CAR WASH

1852 CAMP HILL, LLC

3556 GETTYSBURG ROAD

LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

REVISIONS	No.	Date	Description / Reason
	1	12/09/2022	REVISED PER TOWNSHIP & COUNTY COMMENTS
	2	03/03/2023	REVISED PER TOWNSHIP COMMENTS
	3	03/17/2023	REVISED PER APPROVED TOST / ISSUED FOR CONSTRUCTION

Designer	C.J.S.
Drafter	C.J.S.
Reviewer	A.J.D.
Scale	1" = 20'
Project No.	220518
Date	10/14/2022

CAD File: SU2218_P01

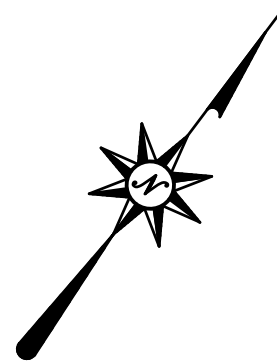
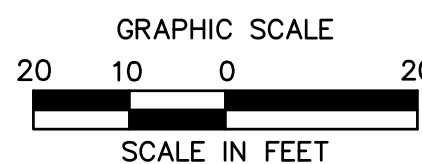
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SITE UTILITIES PLAN

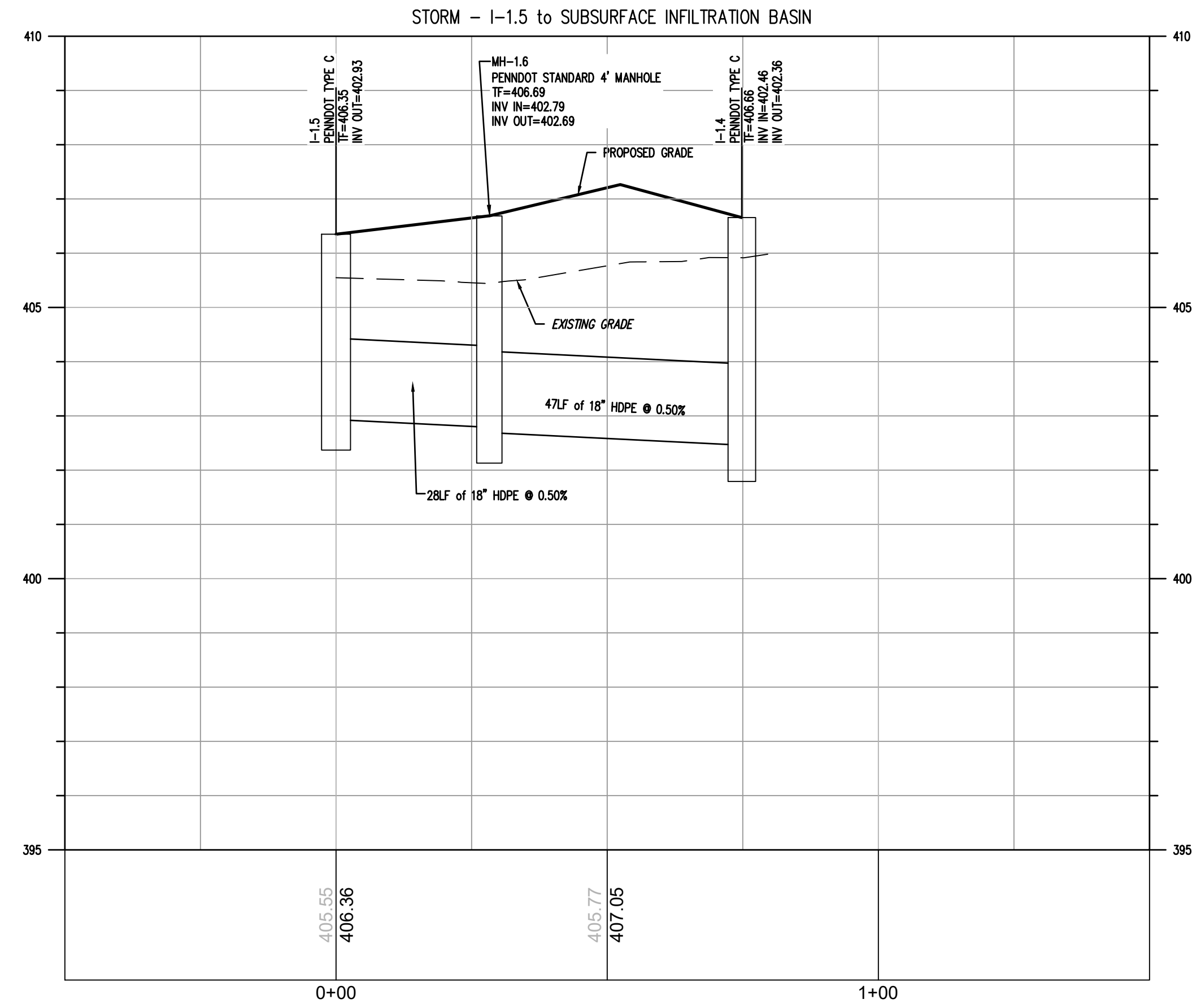
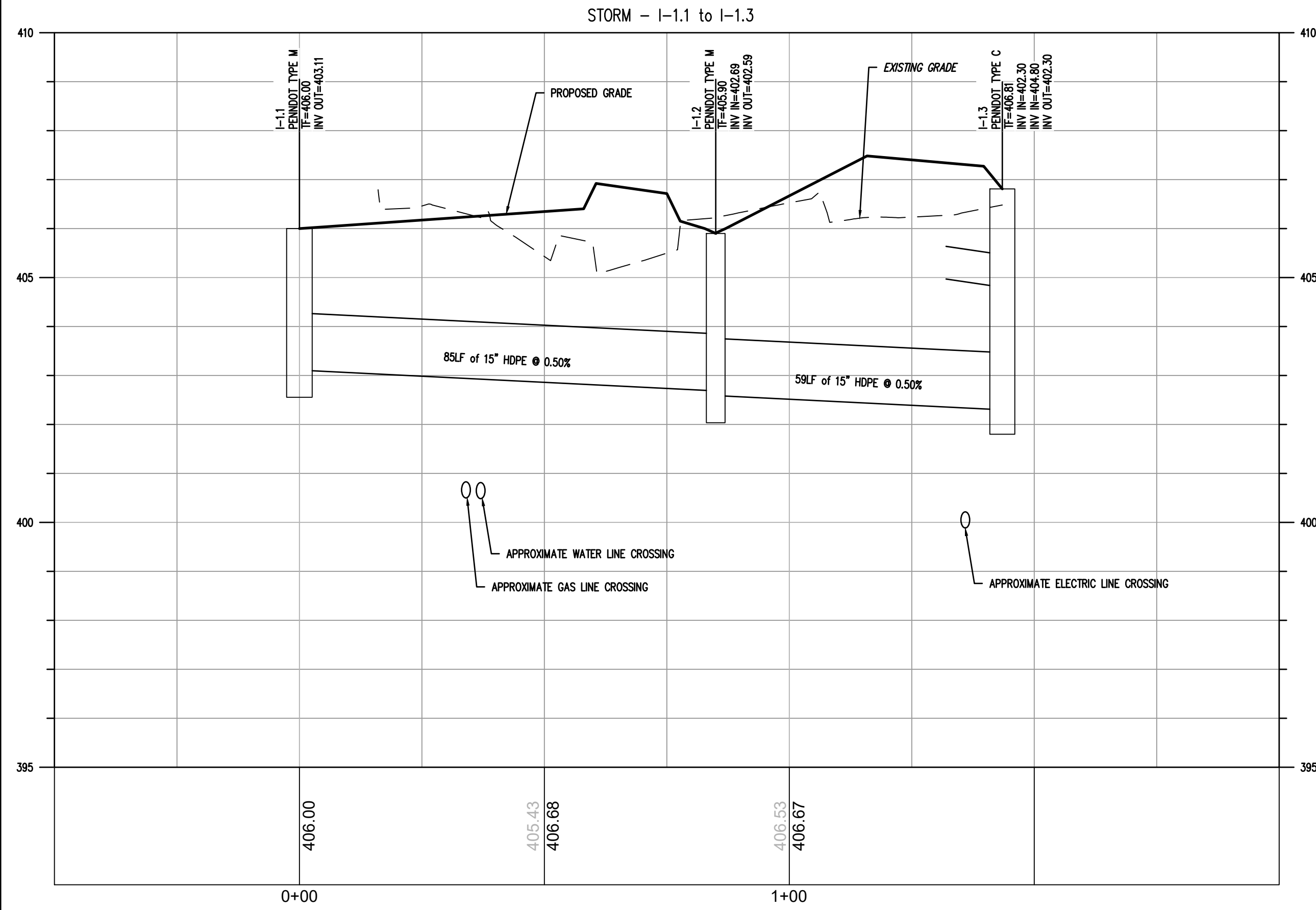
Sheet Number

SU-1

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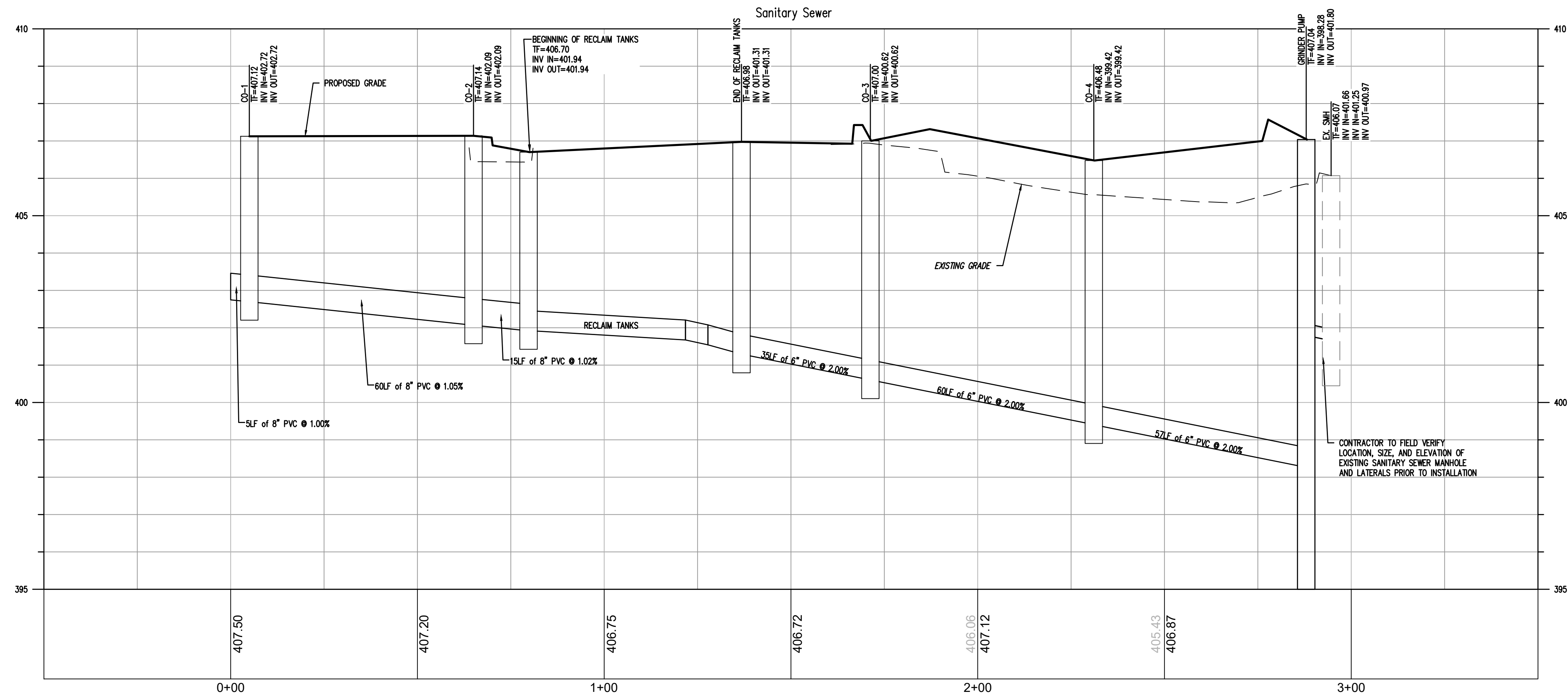
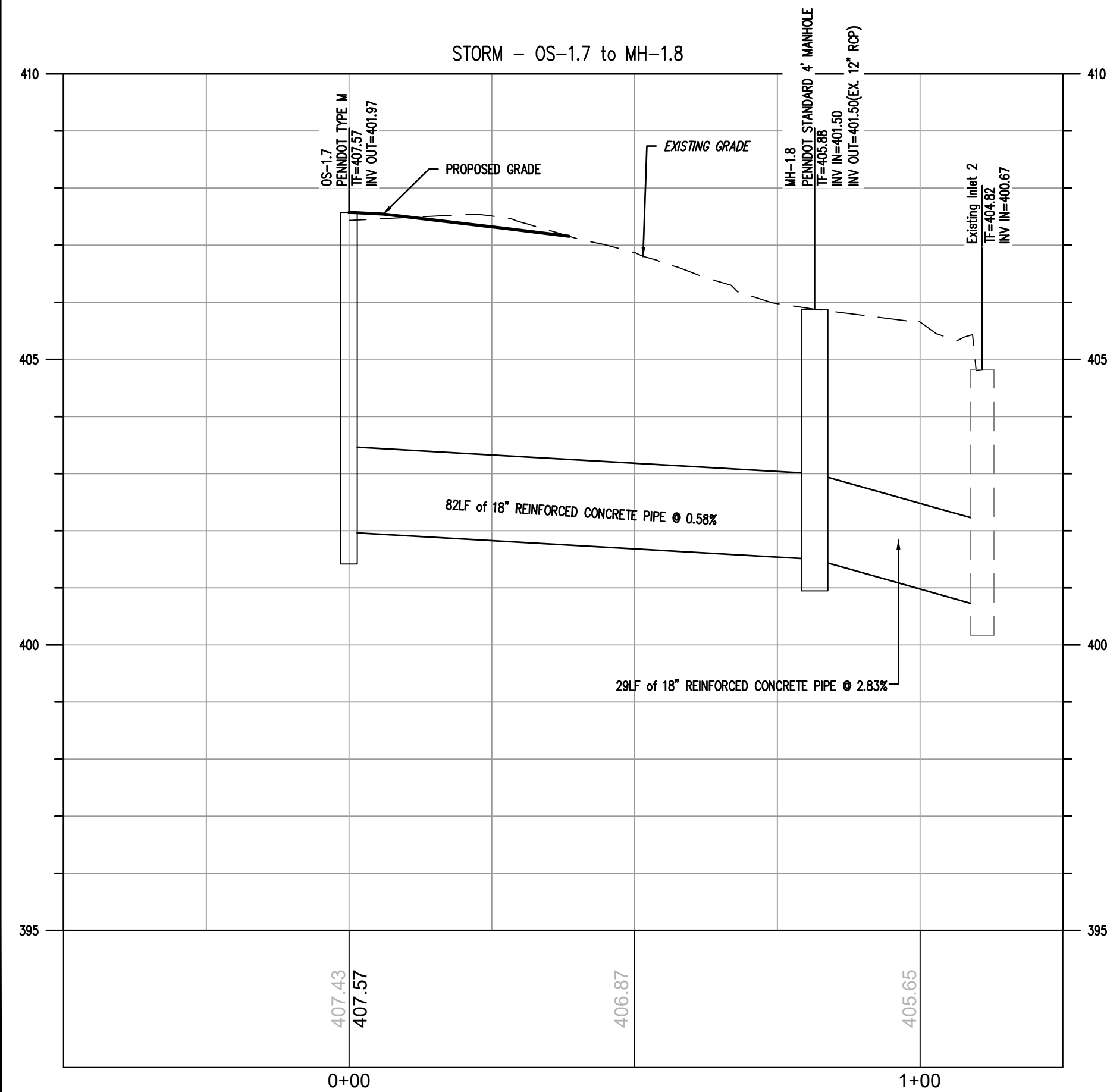
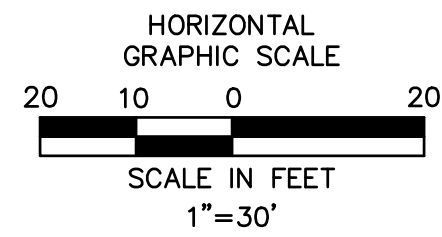
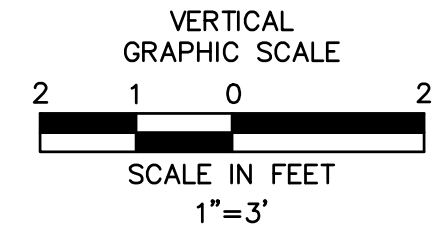


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NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES SIZE, LOCATION, ELEVATION, ETC. PRIOR TO COMMENCEMENT OF ANY EARTH DISTURBANCE ACTIVITIES. THE EXISTING UTILITIES DEPICTED ARE BASED ON AVAILABLE DATA AND MAY NOT BE EXACT LOCATION.



REVISIONS		Description / Reason
No.	Date	
1	12/09/2022	REVISED PER TOWNSHIP & COUNTY COMMENTS
2	03/03/2023	REVISED PER TOWNSHIP COMMENTS
3	03/17/2023	REVISED PER APPROVED TCR / ISSUED FOR CONSTRUCTION

Designer	C.J.S.
Drafter	C.J.S.
Reviewer	A.J.D.
Scale	AS NOTED
Project No.	220518
Date	10/14/2022

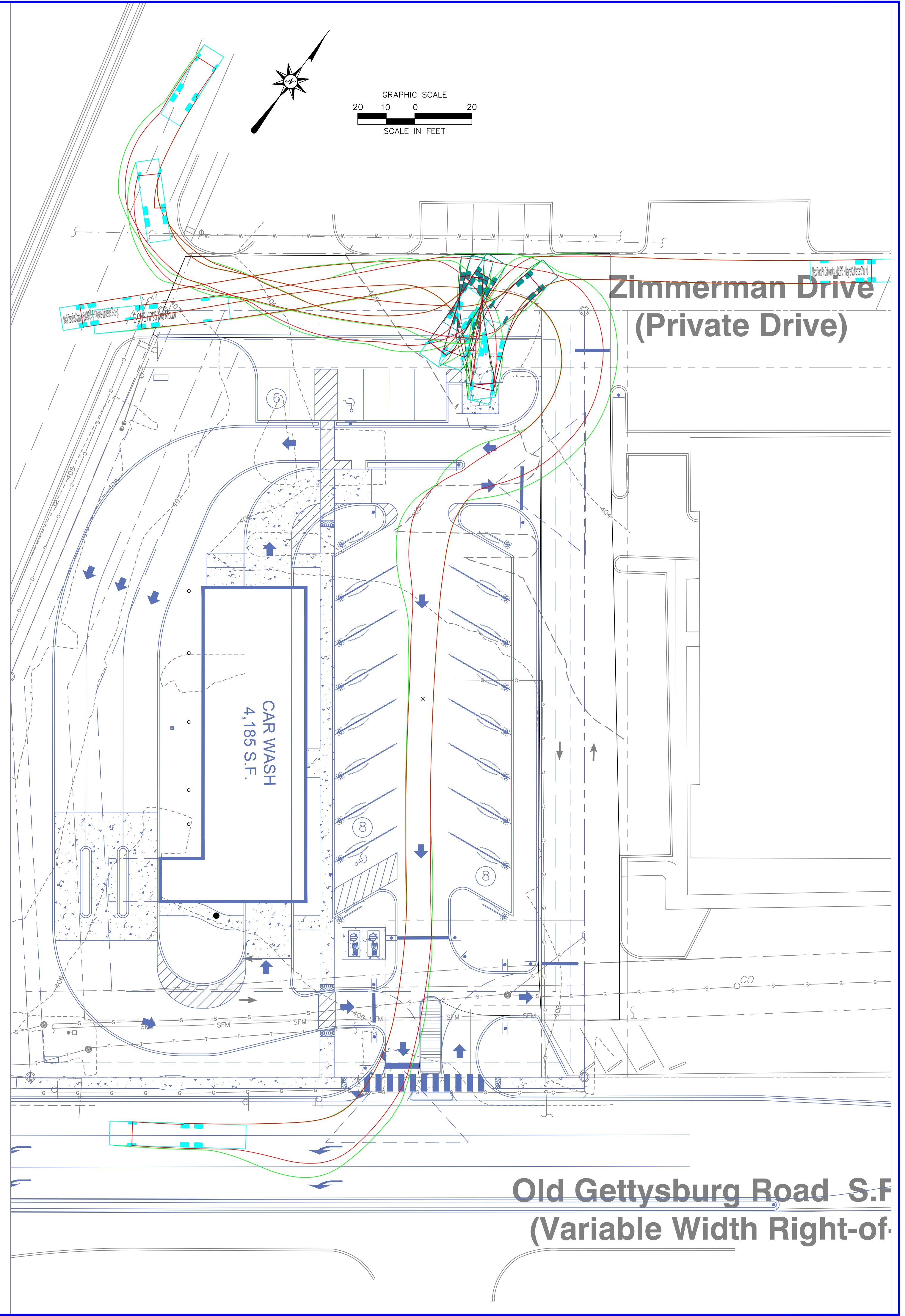
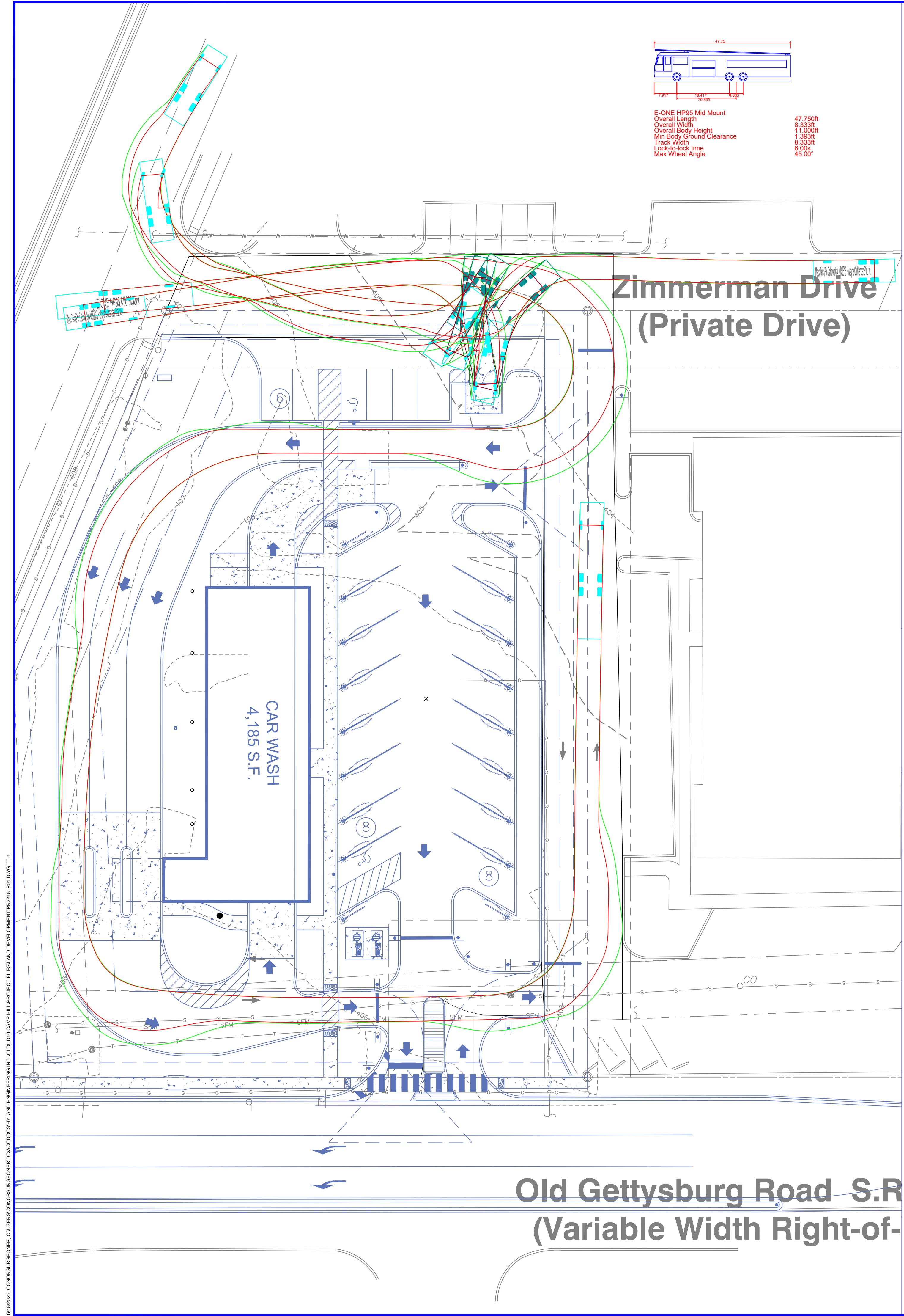
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Sheet Title


PROFILES

Sheet Number

PR-1



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718 North Front Street
Wormleysburg, PA 17043
(717) 723-3326

CLOUD10 CAR WASH
1852 CAMP HILL, LLC
3556 GETTYSBURG ROAD
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

REVISIONS	
No.	Description / Reason
1	REVISED PER TOWNSHIP & COUNTY COMMENTS
2	REVISED PER TOWNSHIP COMMENTS
3	REVISED PER APPROVED FOR CONSTRUCTION

Designer	C.J.S.
Drafter	C.J.S.
Reviewer	A.J.D.
Scale	1"=20'
Project No.	220518
Date	10/14/2022

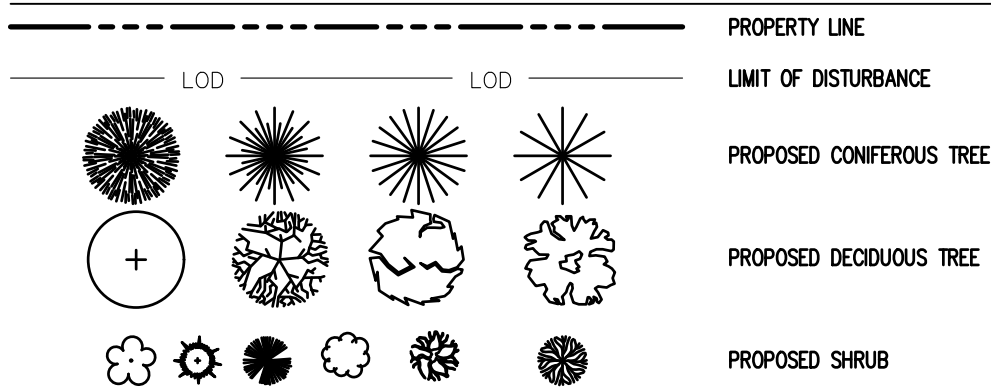
CAD File: PR2218_P01

Sheet Title: TRUCK TURNING TEMPLATE

Sheet Number: TT-1

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LANDSCAPING PLAN LEGEND



Landscape Plant Schedule			
SYMBOL	SCIENTIFIC NAME	COMMON NAME	QUANTITY
MA	Condition A Street Tree - 5' or less		
MA	Malus 'Adirondack'	Adirondack Crabapple	1.5-2" caliper 5
AC	Condition B Street Tree - 5'-10'		
AC	Acer campestre 'Miyabe'	Miyabe Hedge Maple	2-2.5" caliper 4
TC	Condition C Street Tree - over 10'		
TC	Tilia cordata 'Corinthian'	Littleleaf Linden	2-2.5" caliper 3
AG	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1.5 - 2" caliper 4
IG	Ilex glabra 'Compacta'	Compact Inkberry Holly	18"-24" 14
IM	Ilex x meserveae 'Blue Princess'	Blue Princess Holly	24"-36" 14
JC	Juniperus chinensis 'Monlep'	Mint Julep Juniper	18"-24" 9
PF	Potentilla fruticosa 'Goldfinger'	Goldfinger Potentilla	18"-24" 6
SB	Spiraea x bumalda 'Goldflame'	Goldflame Spirea	18"-24" 15
TMH	Taxus x media Hicksii	Hicksii Yew	24"-36" 31
MS	Miscanthus sinensis 'Little Zebra'	Dwarf Little Zebra Maiden Grass	1 gallon 12
PV	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	1 gallon 36

LANDSCAPING ORDINANCE REQUIREMENTS

Zoning District: Regional Commercial C-4				
CODE SECTION	CODE CITATION	REQUIREMENT	PROPOSED	VARIAANCE/ WAIVER
220-200 A. Front Yard	Front Yard - 5% of the area shall be landscaped. The landscape areas shall contain evergreen or deciduous trees min. 1 1/2" caliper. Evergreen/deciduous shrubs min. one foot to three feet height in continuous groundcover.	7,470 SF - Lower Allen Drive Front Yard x 5% = 374 SF 5,840 SF - Old Gettysburg Front Yard x 5% = 292 SF	538 SF Landscape plants/bed - Lower Allen Road 705 SF Landscape plants/bed - Old Gettysburg Pike	NO
220-200 B. Parking Area	5% Interior parking area landscaped with one tree per 10 parking spaces. Mixture of flowering deciduous trees and evergreens.	6570 SF of interior parking area x 5% = 330 SF 23 parking spaces / 10 = 3 trees	4 trees 540 SF interior landscape	NO
220-201 A. Screening	Fence, wall, landscaping, berm or ex. Vegetation shall be provided to obscure certain uses. Dumpster and trash handling.	Shrubs shall be evergreen and min. three feet in height and spaced 6 feet on center.	Eight evergreen plants with mature height over 3'.	NO
220-214 B. Clear Sight Triangle	A clear sight triangle - 25 feet along street lines - shall be maintained. Plantings limited to three feet in height.	Plants in clear sight triangle shall be less than three feet in height when mature	Complies	NO
192-58 C. Street Trees	Street trees required - Condition A, B, C. One tree per 50' of street frontage along R-O-W.	Lower Allen Drive - 270 LF Frontage / 50 = 6 trees Old Gettysburg Road - 195 LF Frontage = 4 trees	Lower Allen Drive - 6 proposed trees - Condition A & C Old Gettysburg Drive - 4	NO
192-58 D. (1) (b) Buffer Yards	Planting strip along Street frontage to include evergreen plantings.	Lower Allen Drive and Old Gettysburg Road	Evergreen shrubs in landscape buffer	NO

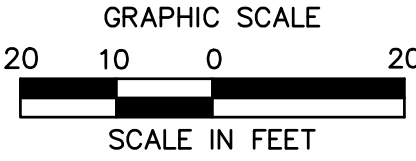
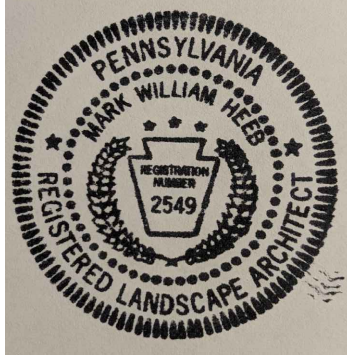
LANDSCAPING NOTES

- THE LANDSCAPE PLAN AND DETAIL SHEET ARE FOR LANDSCAPING INFORMATION ONLY. REFER TO THE SITE PLAN, GRADING AND DRAINAGE PLAN, SITE UTILITIES PLAN, LIGHTING PLAN AND DEMOLITION PLAN FOR ALL OTHER INFORMATION.
- COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE. PRIOR TO DIGGING AND INSTALLATION OF PLANT MATERIAL, THE CONTRACTOR SHALL CONTACT "PENNSYLVANIA811" 72 HOURS BEFORE COMMENCEMENT OF WORK AT (800)242-1776" AND VERIFY ALL UTILITY SYSTEM LOCATIONS.
- THE CONTRACTOR SHALL GUARANTEE THAT ALL PLANTS SHALL BE HEALTHY AND FREE OF DISEASE FOR A PERIOD OF ONE YEAR OR JUNE 1ST OF THE YEAR FOLLOWING INSTALLATION, WHICHEVER IS LONGER, AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE BY OWNER OR LANDSCAPE ARCHITECT. CONTRACTOR SHALL REPLACE ANY DEAD OR UNHEALTHY PLANTS AT CONTRACTOR'S EXPENSE. PLANT MATERIAL REPLACEMENTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM DATE OF REPLACEMENT. REPLACEMENT PLANTS SHALL BE THE SAME AS SPECIFIED FOR THE ORIGINAL PLANTING. REPLACEMENTS SHALL BE MADE AS MANY TIMES AS NECESSARY TO ENSURE HEALTHY PLANTS. FINAL ACCEPTANCE SHALL BE MADE IF ALL PLANTS MEET THE GUARANTEE REQUIREMENTS INCLUDING MAINTENANCE, MAINTENANCE RESPONSIBILITIES INCLUDE CULTIVATING, SPRAYING, WEEDING, WATERING, TIGHTENING GUYS, PRUNING, FERTILIZING, MULCHING, AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN PLANT VIABILITY.
- THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY.
- PLANTS SHALL HAVE TAGS THAT IDENTIFY PLANT GENUS, SPECIES, CULTIVAR (IF APPLICABLE), PLANT COMMON NAME, NAME OF SOURCE NURSERY, AND SIZE OF PLANT FOR REVIEW OF OWNER OR LANDSCAPE ARCHITECT.
- ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 6" WITH 3"-4" RIVER ROCK.
- LANDSCAPE PLANTING AREAS MUST BE FREE DRAINING. PAVEMENT, COMPACTED SUBGRADE, DEAD OR DYING PLANT MATERIAL, BLASTED ROCK, STONES GREATER THAN 1" IN DIAMETER, AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT SHALL BE REMOVED FROM AREAS TO BE LANDSCAPED AS REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS.
- PLANTING SOIL: DEPTH: PLANTING SOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4" OR AS NOTED IN THE LANDSCAPE DETAILS. PLANTING SOIL SHALL BE UTILIZED IN ALL PLANTING AREAS INCLUDING SEEDD AREAS.
- TESTING: CONTRACTOR SHALL SUBMIT (2) SOIL SAMPLES PER SOIL STOCKPILE TO A CERTIFIED TESTING LABORATORY TO DETERMINE ACIDITY, ORGANIC CONTENT, MECHANICAL ANALYSIS, AVAILABLE NUTRIENTS (N,P,K,Ca,Mg,S,Pb,Mn,Zn,Cu,B,Al,Pb) AND NECESSARY AMENDMENTS TO SOIL. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS TO THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. TEST RESULTS SHALL RECOMMEND AMENDMENTS THAT WILL ALTER THE SOIL CHARACTERISTICS SUCH THAT THE CHARACTERISTICS DESCRIBED BELOW ARE ACHIEVED AND THE SPECIFIED PLANTS (CONTRACTOR TO PROVIDE LIST TO TESTING LABORATORY) WILL ACHIEVE PROPER GROWTH THAT IS NEITHER DEFICIENT NOR EXCESSIVE. THE CONTRACTOR SHALL INCORPORATE THESE AMENDMENTS AT NO INCREASE IN CONTRACT PRICE.
- PLANTING AMENDMENTS: APPLY FERTILIZER AND OTHER AMENDMENTS AS RECOMMENDED FOR EACH PLANTING AREA BY SOIL ANALYSIS. APPLY AMENDMENTS IN A MANNER CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS. ANY ORGANIC AMENDMENTS SHALL HAVE A pH BETWEEN 4.5 AND 5.5 UNLESS OTHERWISE RECOMMENDED.
- PLANT REQUIREMENTS: ALL PLANTS SHALL CONFORM IN SIZE AND GRADE TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 (LATEST EDITION). THE OWNER OR LANDSCAPE ARCHITECT WILL ALLOW SUBSTITUTIONS ONLY UPON WRITTEN APPROVAL. SIZES SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE DRAWINGS. ALL OVERSTORY TREES PLANTED ALONG PARKING AREAS, SIDEWALKS AND PEDESTRIAN ACCESSES SHALL NOT BRANCH BELOW 10' FEET IF THE TREE CALIPER IS 3" INCHES OR GREATER. ALL PLANT MATERIALS ARE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT.
- SEEDING MIXTURES: REFER TO SEED MIX NOTES. SEEDD AREA SHALL BE ACCEPTED WHEN SEED AREA ACHIEVES 90% COVERAGE.
- ALL SLOPES STEEPER THAN 3:1 RECEIVING A SEED MIX SHALL BE COVERED WITH AN EROSION CONTROL BLANKET OF STRAW FIBER AND BIODEGRADABLE OR PHOTODEGRADABLE NETTING.
- ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEEDD WITH THE LAWN SEED MIX.

LANDSCAPE ARCHITECT'S CERTIFICATION

I, Mark W. Heeb, RLA, a registered Landscape Architect in the Commonwealth of Pennsylvania, hereby certify that to the best of my knowledge this plan is accurate and correct as indicated.

Mark W. Heeb, RLA
Reg. No. LA002549



718 North Front Street
Wormleysburg, PA 17043
(717) 723-3326

CLOUD10 CAR WASH
1852 CAMP HILL, LLC
3556 GETTYSBURG ROAD
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

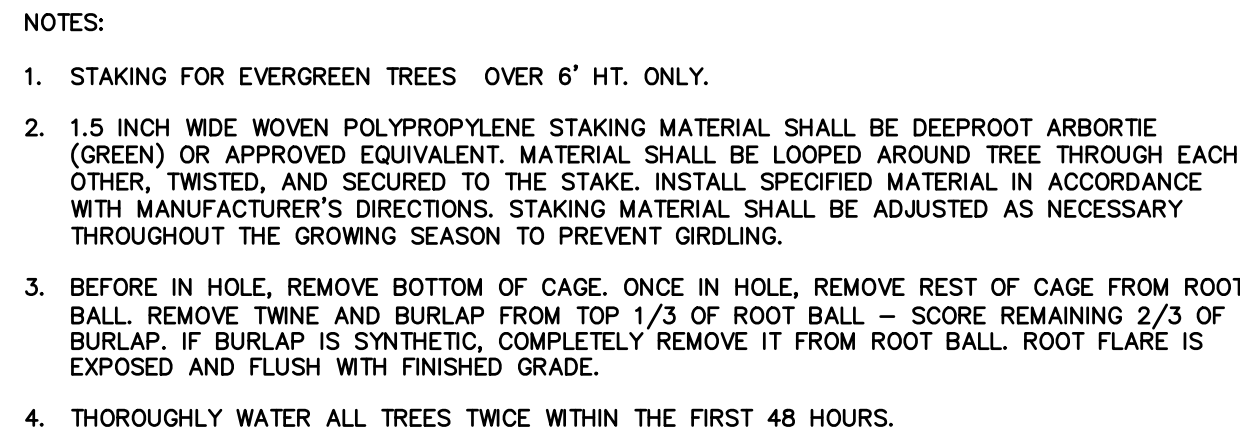
REVISIONS		Description / Reason
No.	Date	
1	12/09/2022	REVISED PER TOWNSHIP COMMENTS
2	03/03/2023	REVISED PER TOWNSHIP COMMENTS
3	03/17/2023	REVISED PER APPROVED TOS / ISSUED FOR CONSTRUCTION

Designer M.H.
Drafter M.H.
Reviewer A.J.D.
Scale 1" = 20'
Project No. 220518
Date 10/14/2022

Sheet Title
LANDSCAPING PLAN

Sheet Number

LL-1



N.T.S



- N.T.S

ANCHOR MATERIAL: EC3000 COPOLYMER TACKIFIER
ANCHORING METHOD: SLURRY, MIX AND SPRAY
ANCHORING RATE OF APPLICATION: 3 LBS/ACRE
SEEDING SEASON DATES: MARCH 1-MAY 15 AND SEPT. 1-OCTOBER 15

C. TEMPORARY SEEDING MIXTURE TYPE 1 - TOPSOIL STOCKPILES ANNUAL RYEGRASS
(50 %) PERENNIAL RYEGRASS (50 %) PURE LIVE SEED: 95 % APPLICATION
RATE: 4LBS / MSF FERTILIZER TYPE: E-5 FERTILIZER APPLICATION RATE: 1000
LBS/ACRE LIMING RATE: 1 TON/ ACRE MULCH TYPE: STRAW MULCH RATE:
3 TONS/ACRE



- N.T.S.



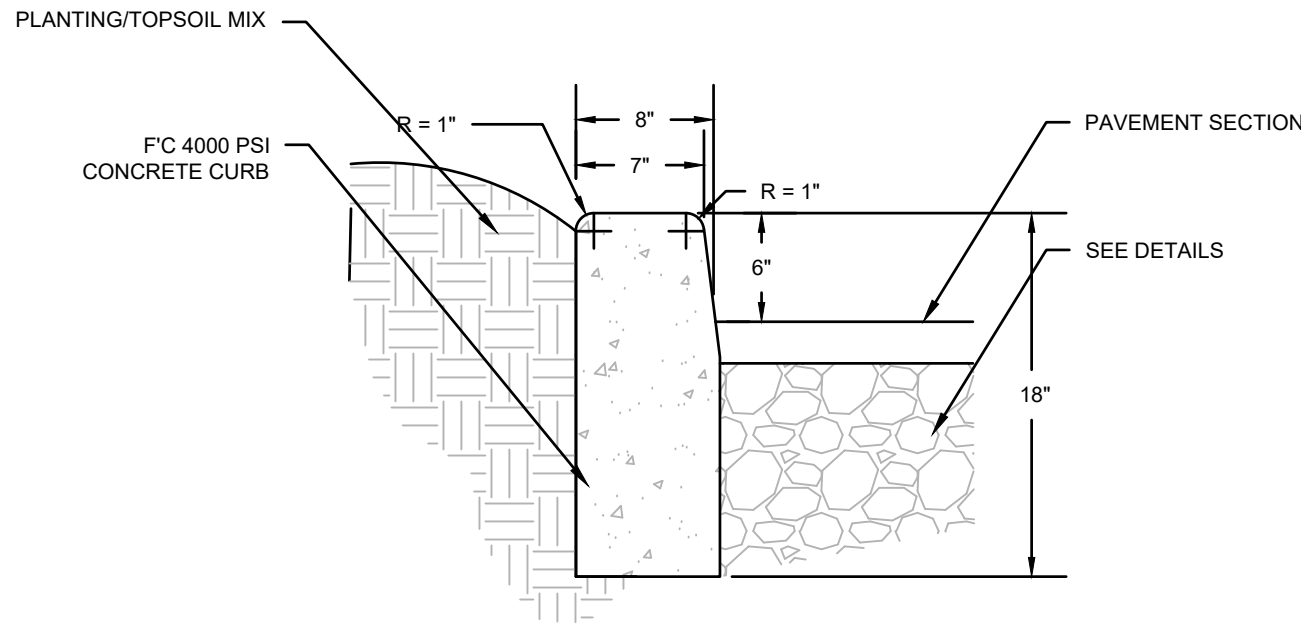
- N.T.S



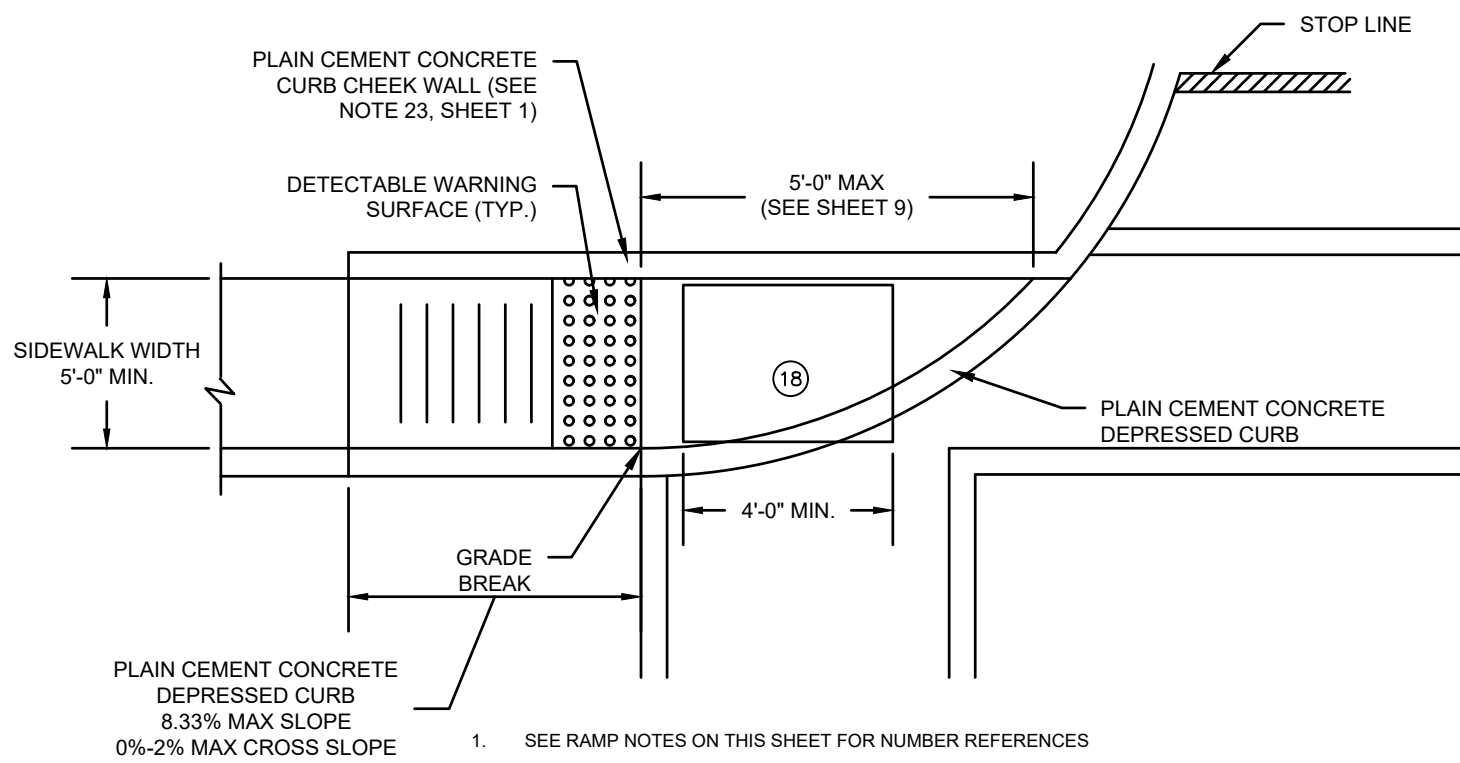
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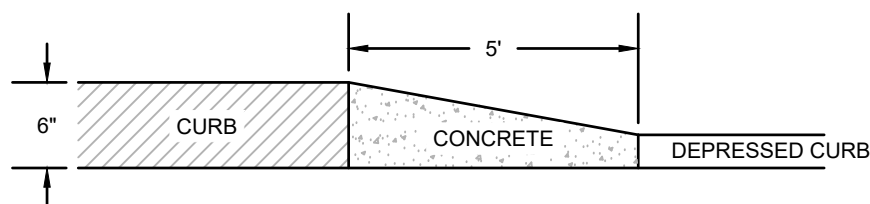
11 OF 20



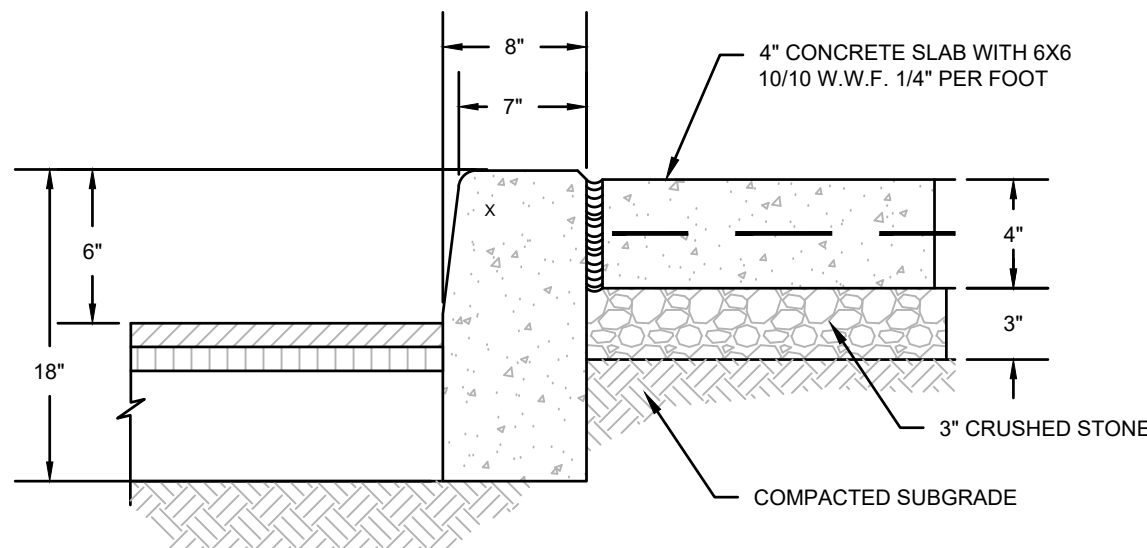
6" REVEAL CONCRETE CURB
N.T.S



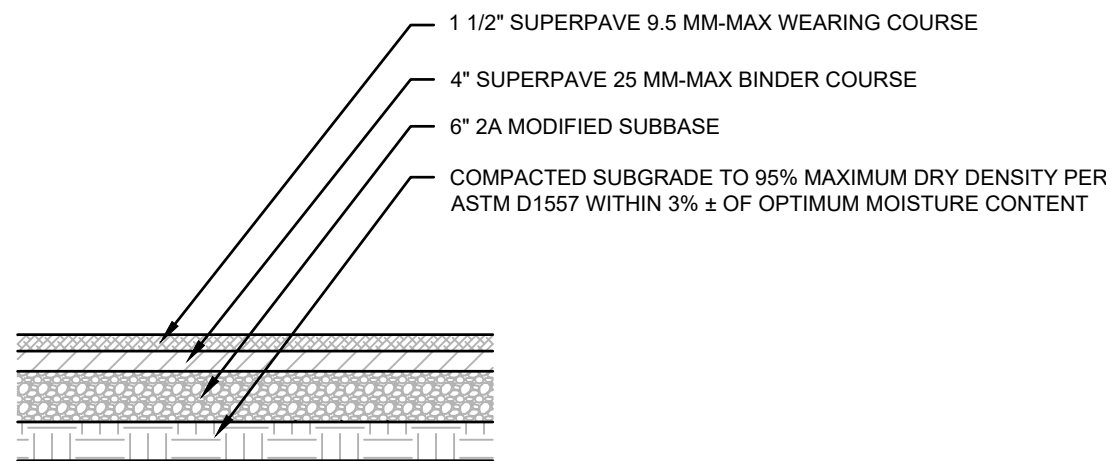
PENNDOT TYPE 1A CURB RAMP DETAIL
N.T.S



6" CURB REVEAL TAPER TO 0" CURB
REVEAL TAPER DEPRESSED CURB DETAIL
N.T.S

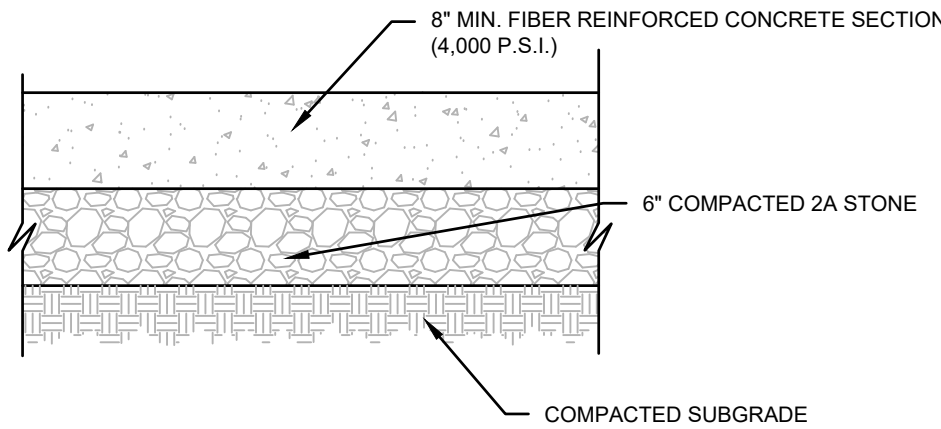


6" REVEAL CONCRETE CURB AND SIDEWALK DETAIL
N.T.S

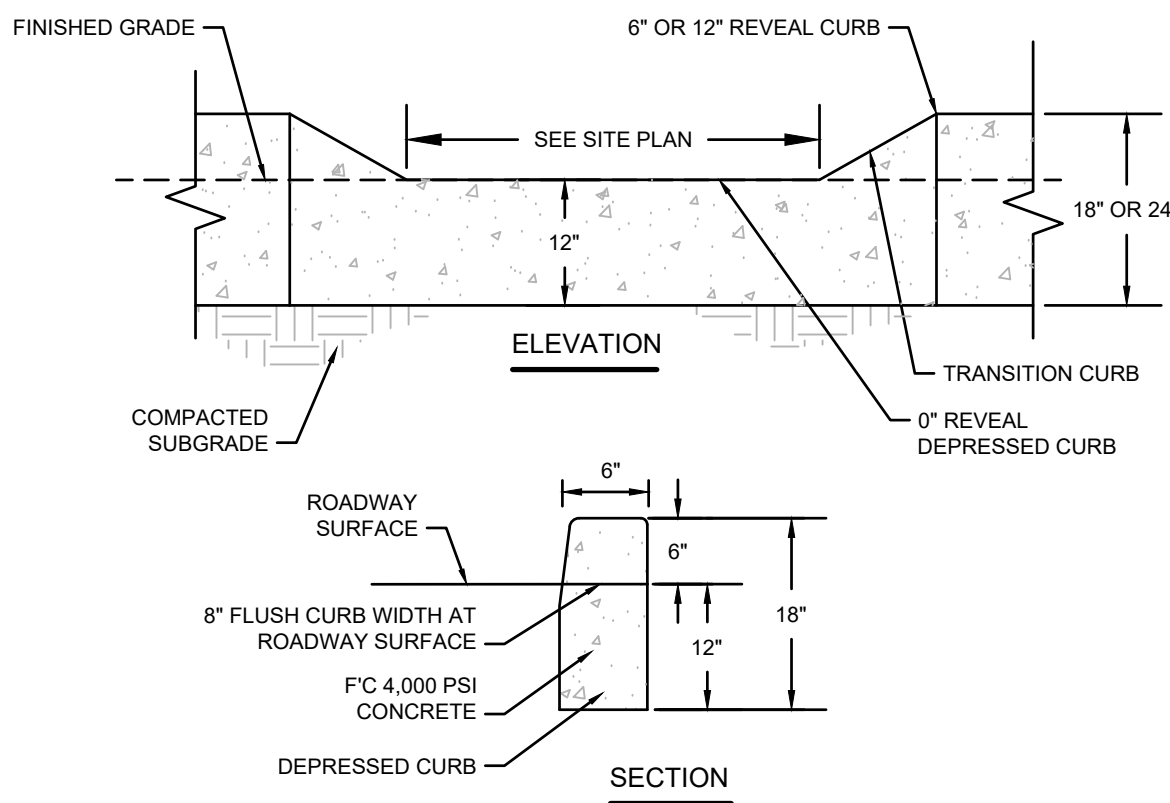


- NOTES:
- ALL PAVING MATERIALS AND INSTALLATION PROCEDURES SHALL CONFORM TO PENNDOT STANDARDS, PUB. 408.

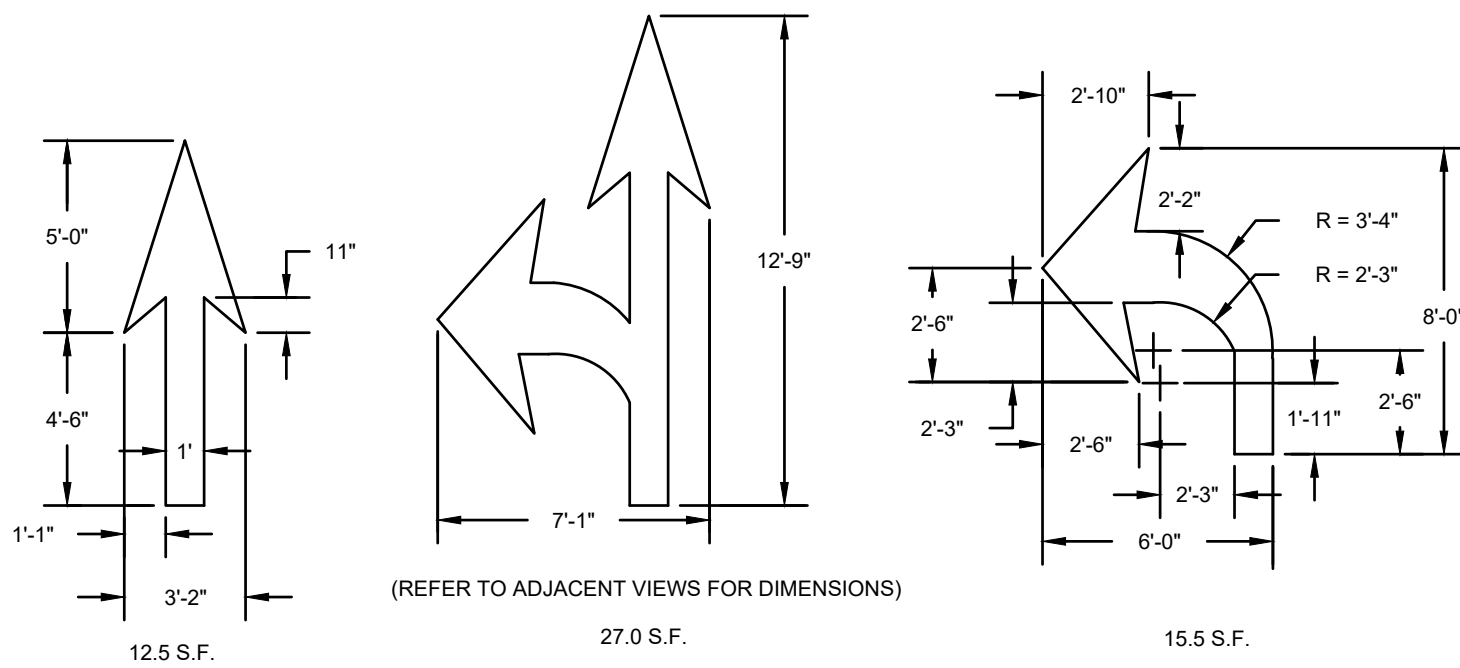
STANDARD DUTY BITUMINOUS PAVING DETAIL ON-SITE
N.T.S



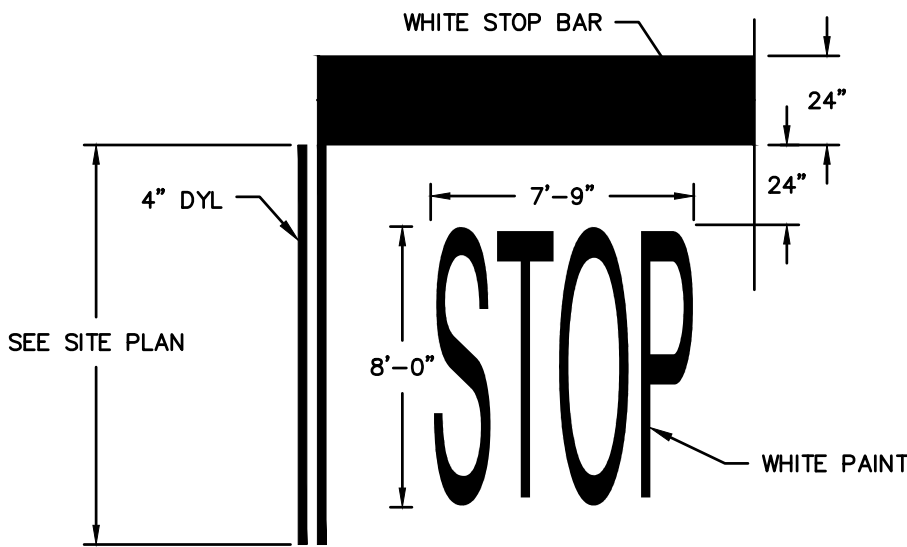
CEMENT CONCRETE PAVEMENT SECTION
N.T.S



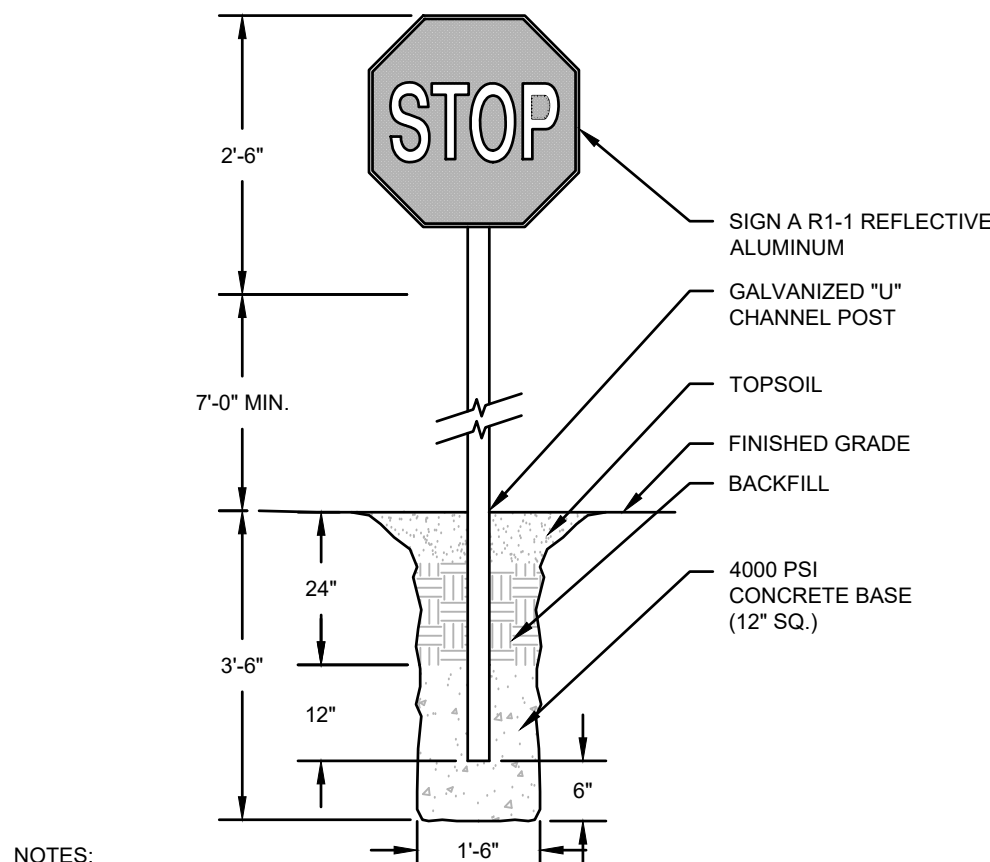
6" REVEAL / DEPRESSED CONCRETE CURB
N.T.S



PAVEMENT ARROW DETAILS
N.T.S

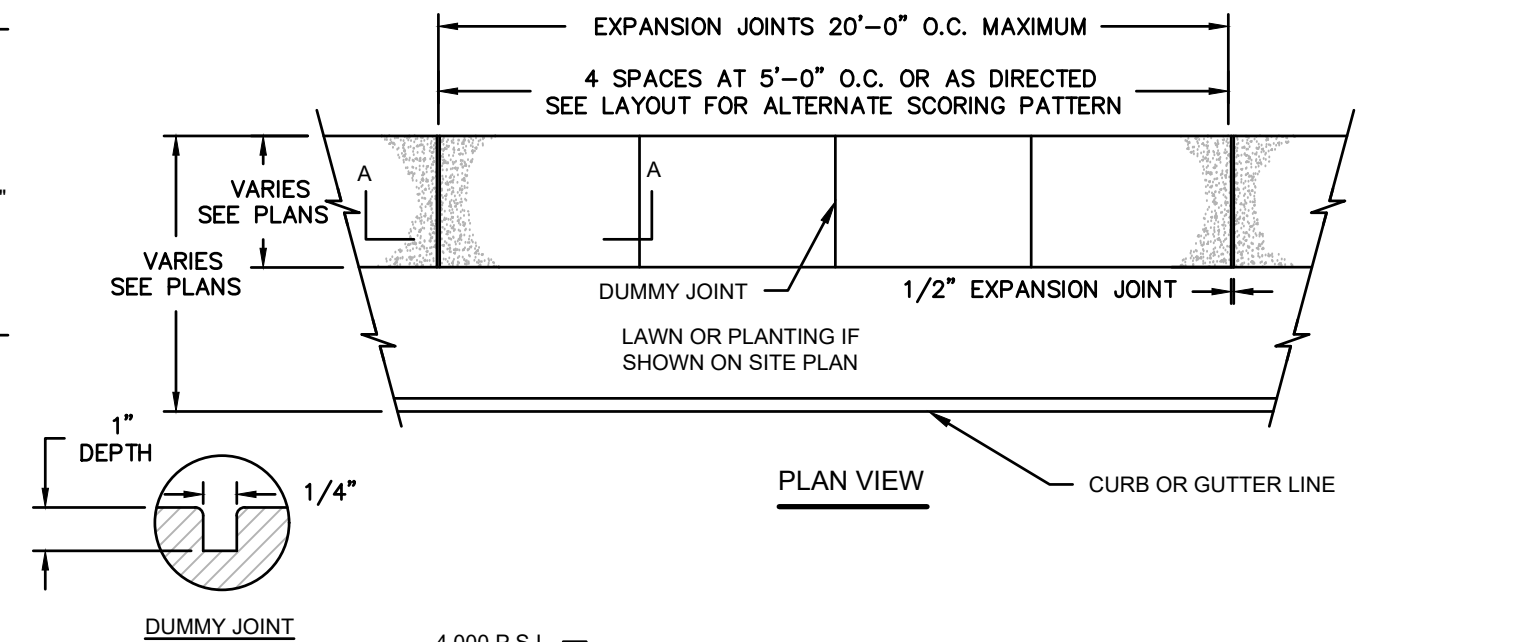


STOP BAR DETAIL
N.T.S



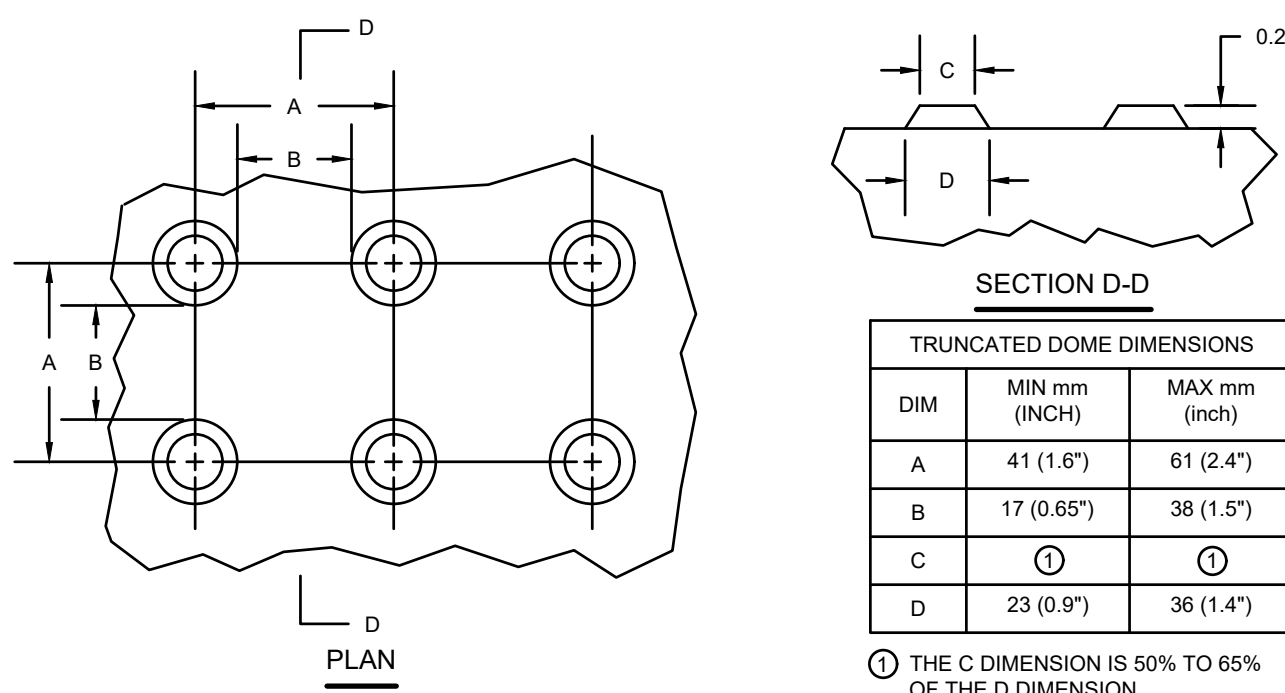
- NOTES:
- CONSTRUCT SIGN IN ACCORDANCE WITH PENNDOT SPECIFICATIONS.

STOP SIGN DETAIL
N.T.S



- NOTES:
- 1/4" WIDE x 1" DEEP DUMMY JOINTS SCORED AT 5'-0" INTERVALS.
 - CONSTRUCTION EXPANSION JOINTS SPACED EVERY 20' AND BETWEEN CURB AND SIDEWALK WHERE ADJACENT
 - SIDEWALK TO BE BROOM FINISHED
 - REFER TO SITE PLAN FOR SIDEWALK WIDTH

SIDEWALK DETAIL
N.T.S



- NOTES:
- ALIGN DETECTABLE WARNING DOMES ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN THE DOMES.
 - PROVIDE DETECTABLE WARNING SURFACES THAT CONTRAST (70%) IN LIGHT REFLECTANCE WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT OR SAFETY YELLOW.

DETECTABLE TRUNCATED DOME
DETECTABLE WARNING SURFACE
N.T.S

N.T.S

N.T.S

SECTION A-A

ELEVATION

N.T.S

TYPICAL CONSTRUCTION

DETAIL A CONTRACTION JOINT

N.T.S

N.T.S

N.T.S

NOTES:

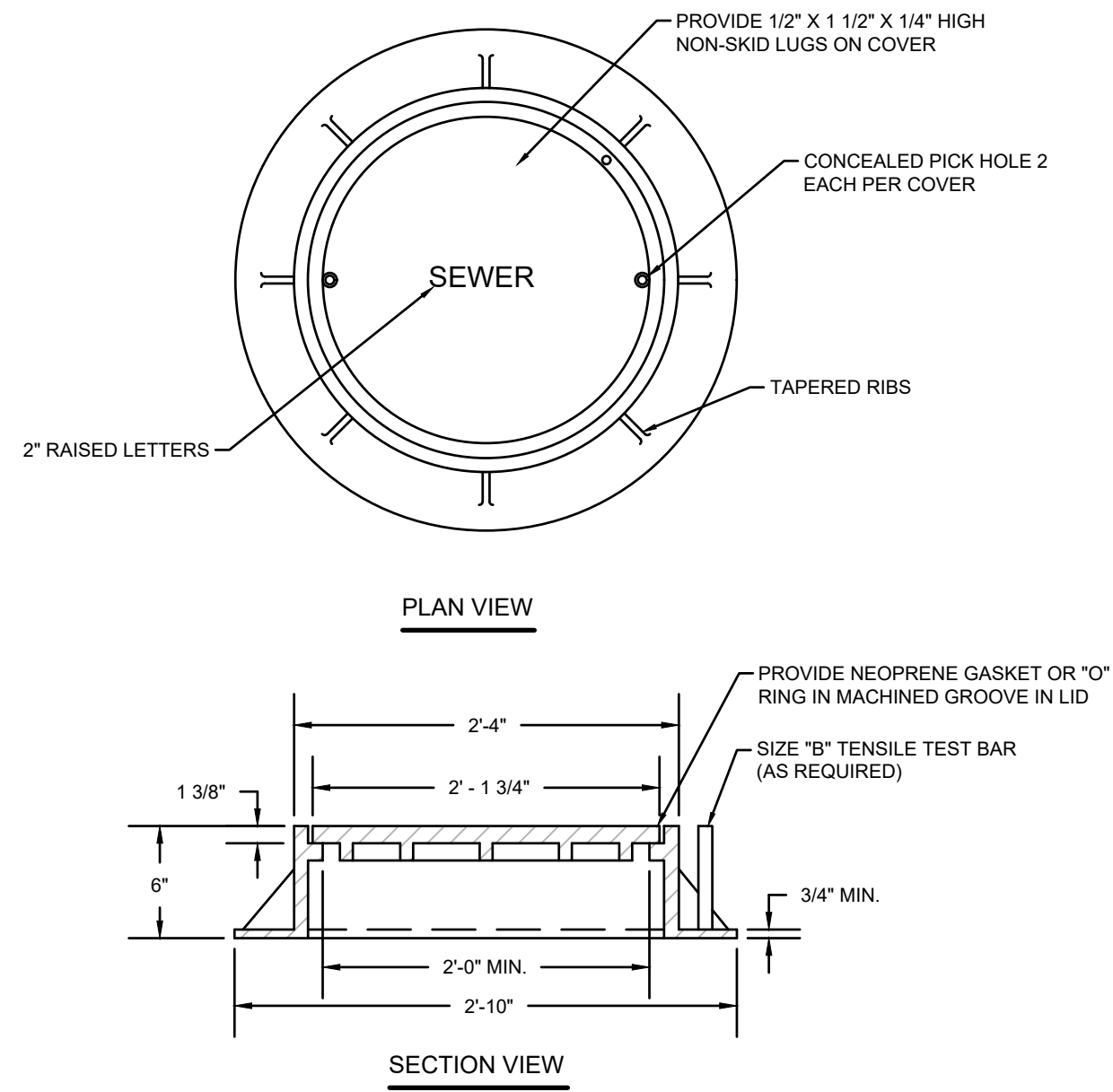
N.T.S

NOTES:

N.T.S

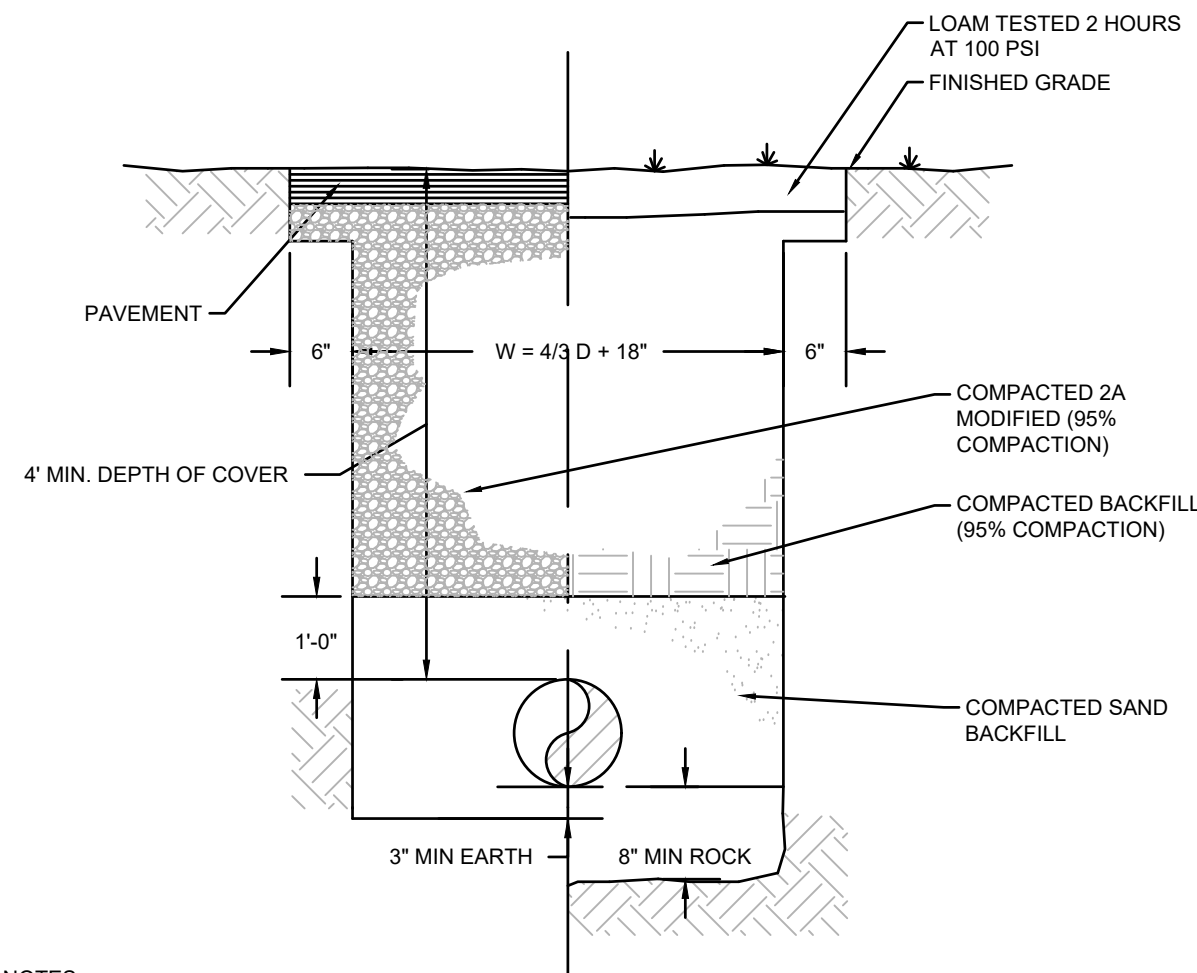
NOTES

N.T.S



STANDARD MANHOLE FRAME AND COVER

N.T.S.

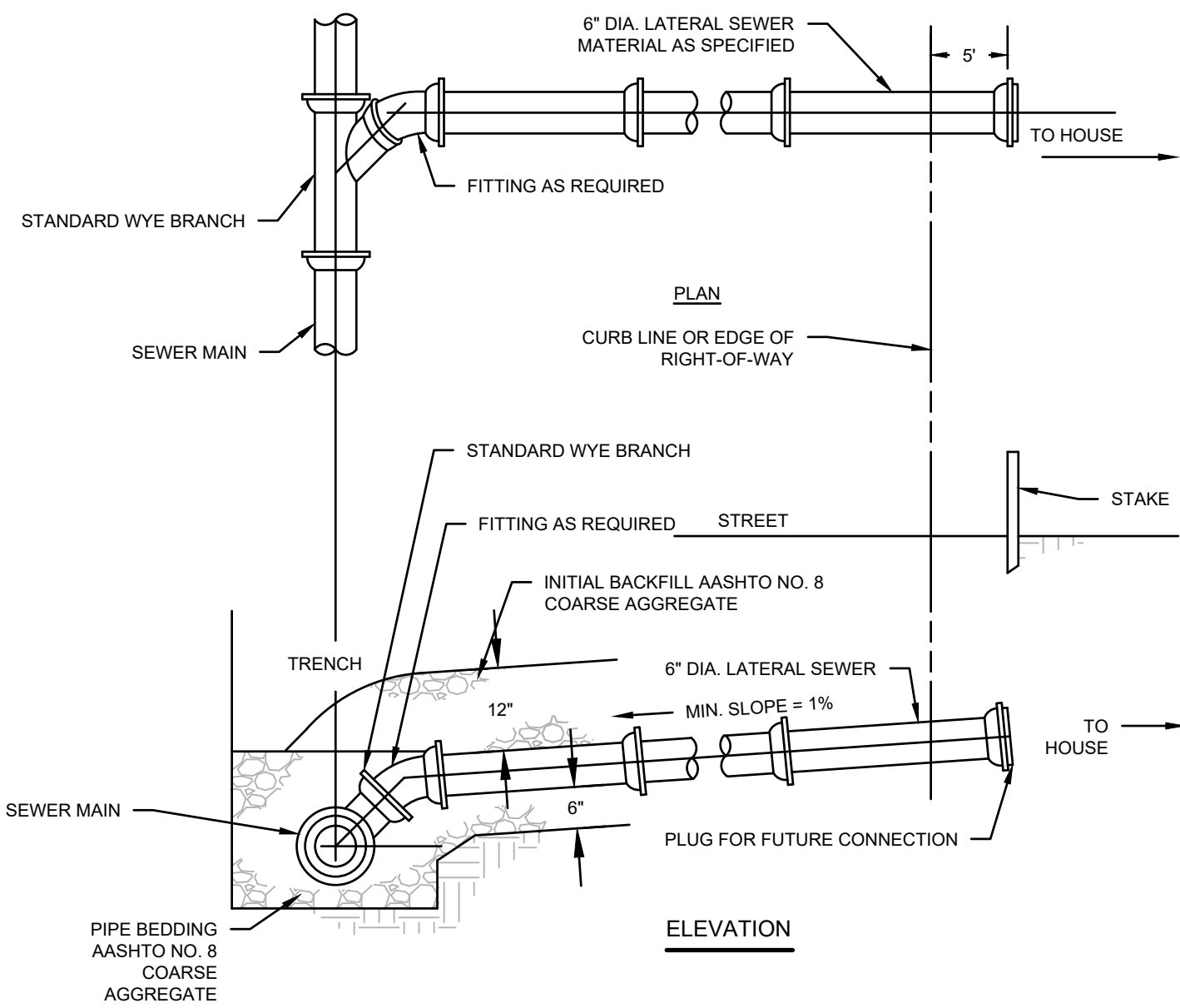


NOTES:

1. FIRE LINE PIPING AND SERVICE PIPING > 3" I.D. TO BE CLASS B3 DUCTILE IRON WITH RESTRAINED JOINTS 40 FT. EACH SIDE OF ALL FITTINGS, ELBOWS, AND APPURTENANCES. DOMESTIC PIPING < 3" I.D. TO BE TYPE K COPPER PER ASTM B 88.
2. PIPING TO BE HYDROSTATIC PRESSURE AFTER INSTALLATION.

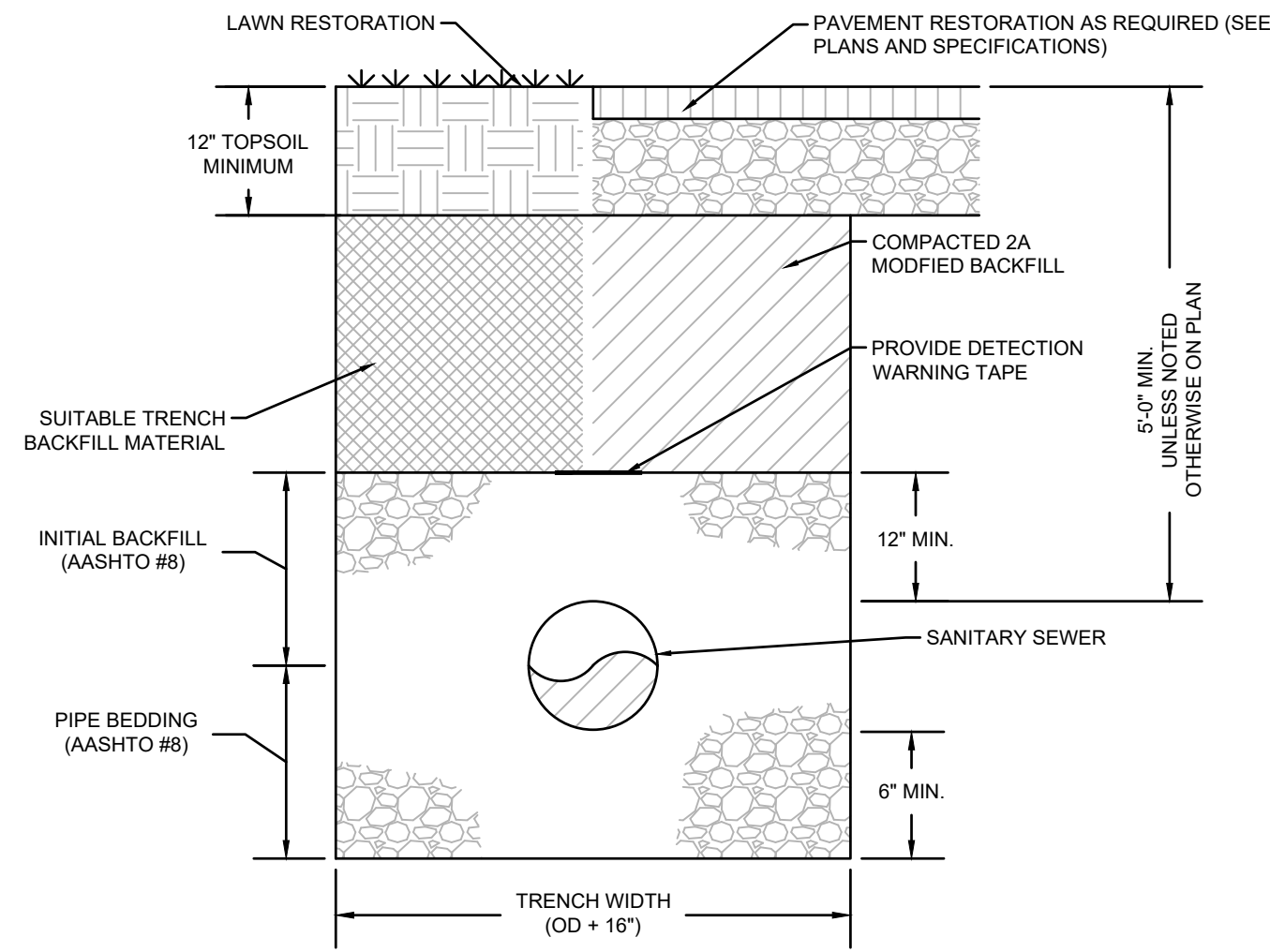
TYPICAL WATER MAIN AND SERVICE TRENCH DETAIL

N.T.S.



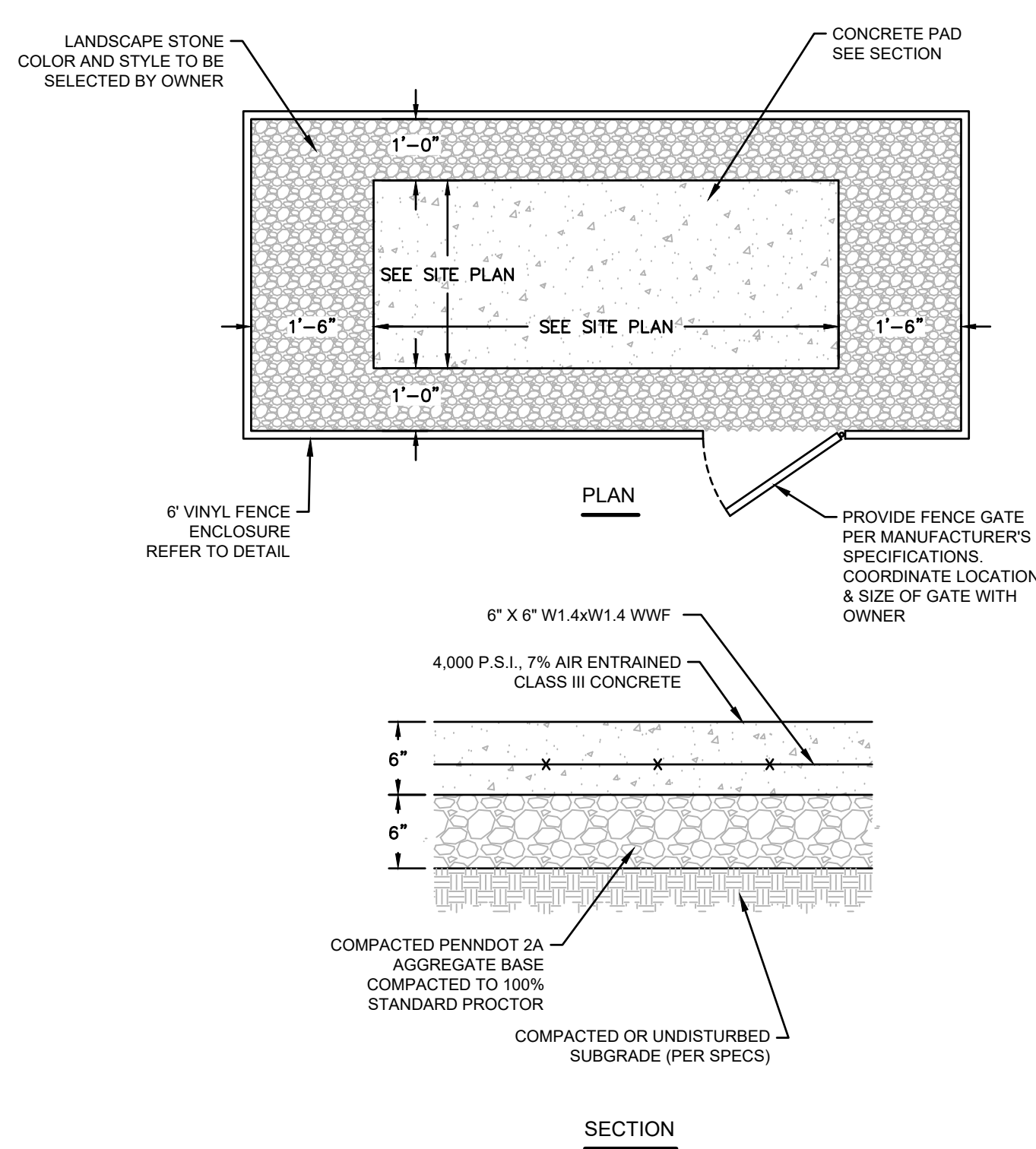
STANDARD LATERAL DETAIL

N.T.S.



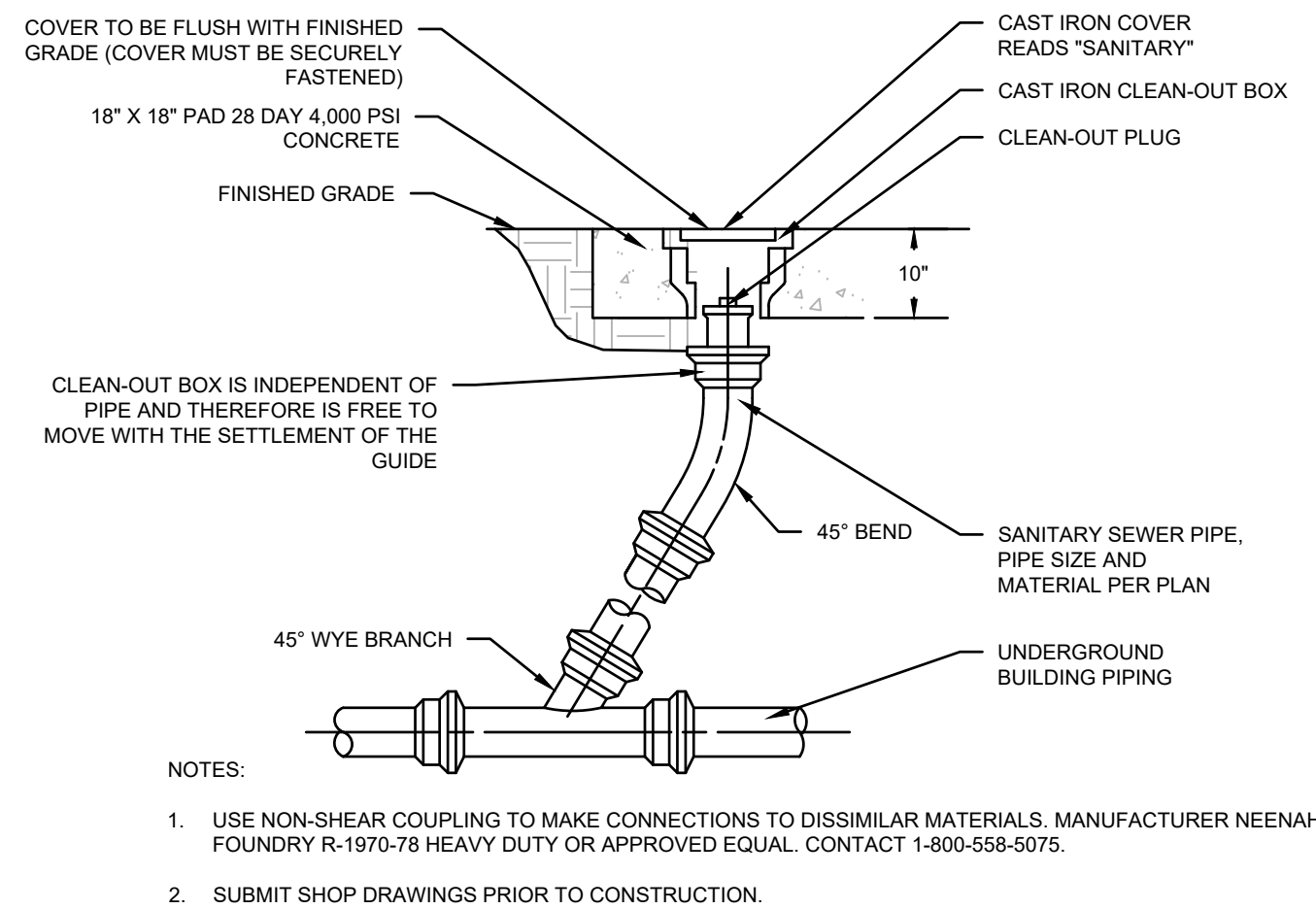
SANITARY SEWER TRENCH DETAIL

N.T.S.



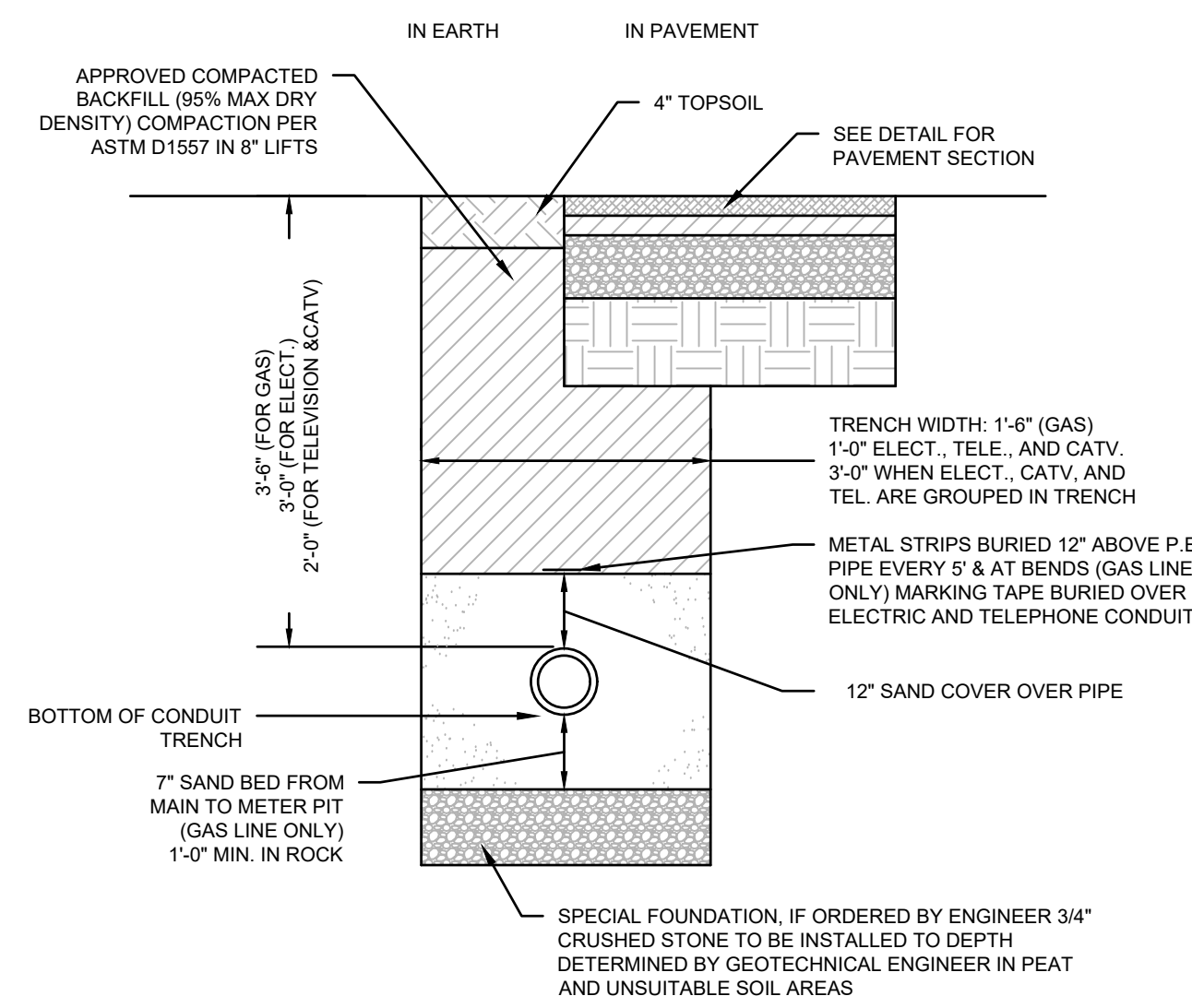
VACUUM PAD DETAIL

N.T.S.



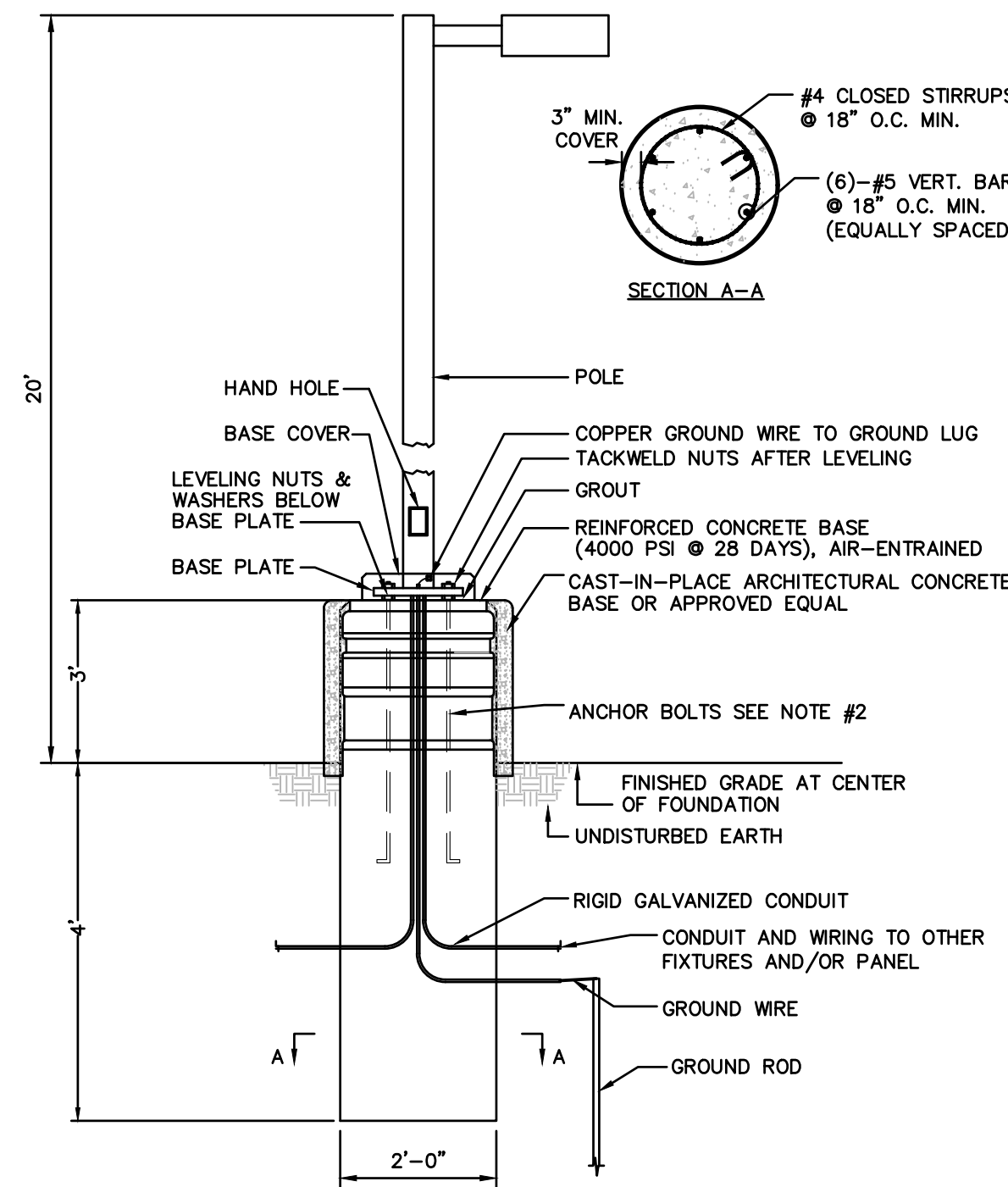
CLEANOUT DETAIL

N.T.S.



ELECTRICAL, TELEPHONE AND GAS TRENCH DETAIL

N.T.S.

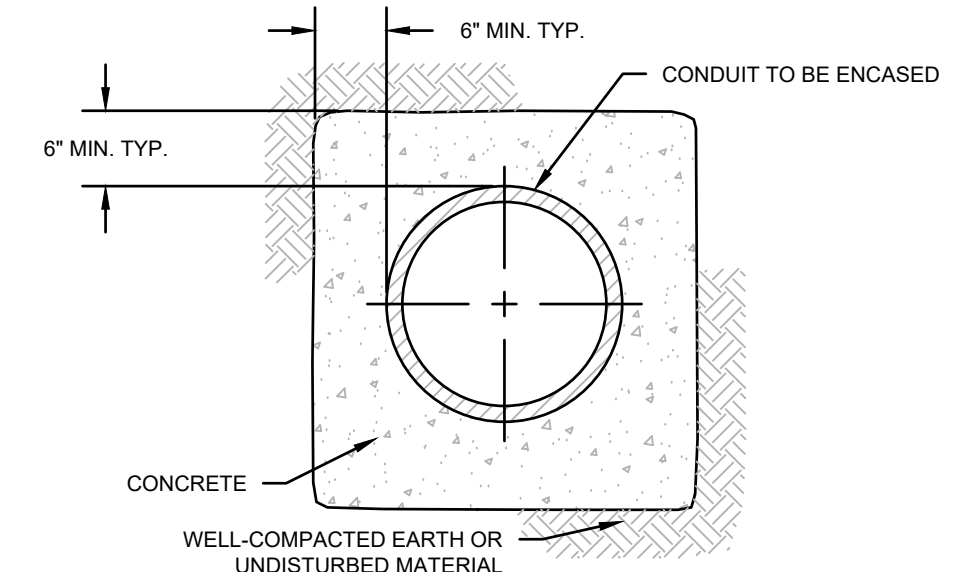


NOTES:

1. CONTRACTOR SHALL FURNISH DETAILED DRAWINGS WITH DESIGN CALCULATIONS FOR THE PROPOSED FOUNDATION PRIOR TO CONSTRUCTION AND ORDERING FOUNDATION MATERIALS. DRAWINGS AND CALCULATIONS MUST BE SIGNED AND SEALED BY A PENNSYLVANIA REGISTERED ENGINEER.
2. ANCHOR BOLTS FURNISHED WITH POLE. BOLT PATTERN, SIZE AND LENGTH AS SPECIFIED BY MANUFACTURER.
3. CONTRACTOR SHALL FURNISH AND INSTALL CONDUIT AND WIRING PER NEC REQUIREMENTS
4. FORM RELEASE AGENT HAS BEEN FACTORY-APPLIED TO INSIDE SURFACE OF "ArtFORM".

TYPICAL LIGHT POLE AND BASE DETAIL

N.T.S.

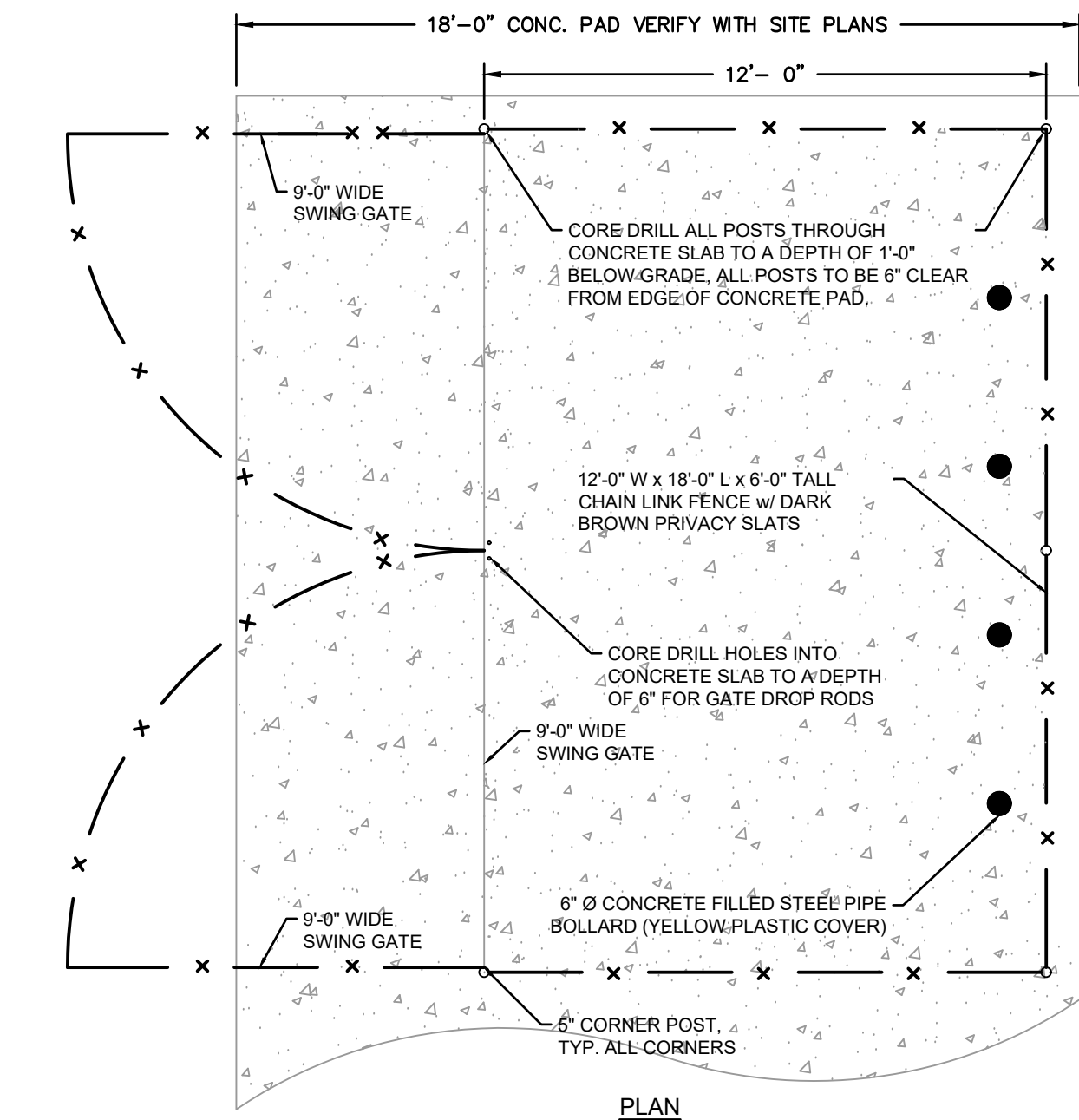
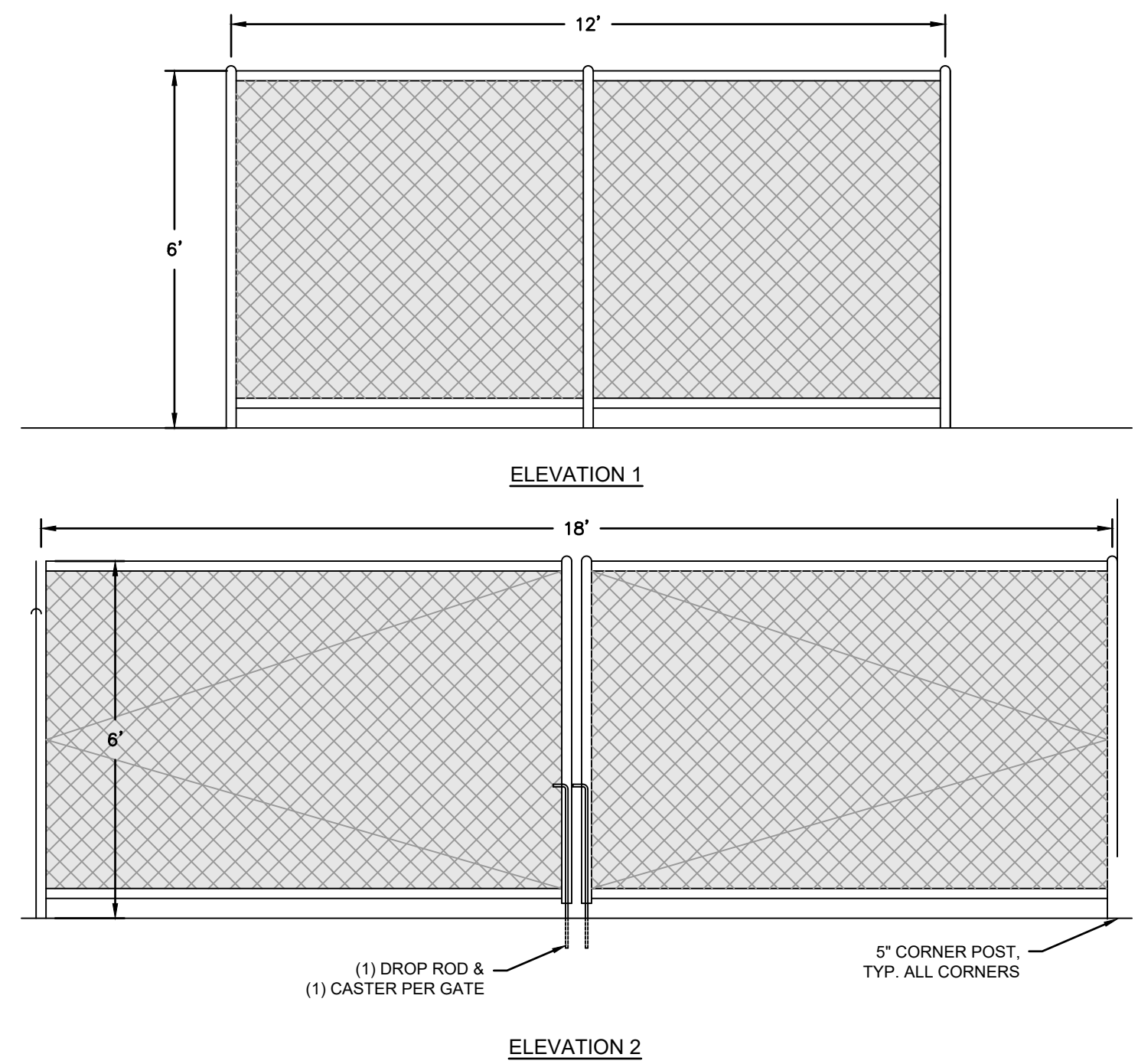


NOTES:

1. EXTEND CONCRETE ENCASEMENT OF CONDUIT 5 FEET BEYOND THE CROSSING FACILITY.

CONCRETE ENCASEMENT SECTION

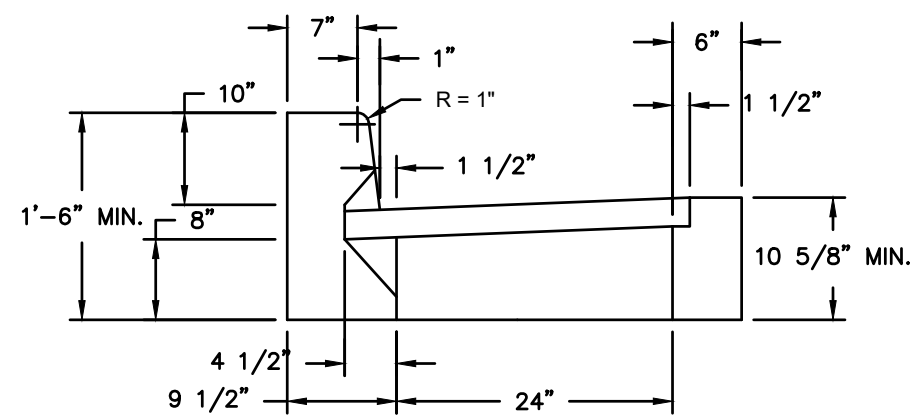
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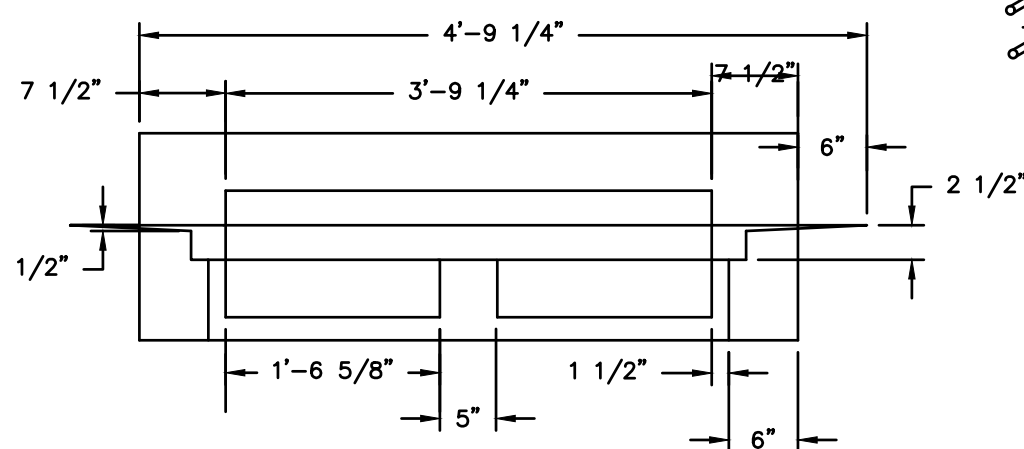
DUMPSTER ENCLOSURE

N.T.S.

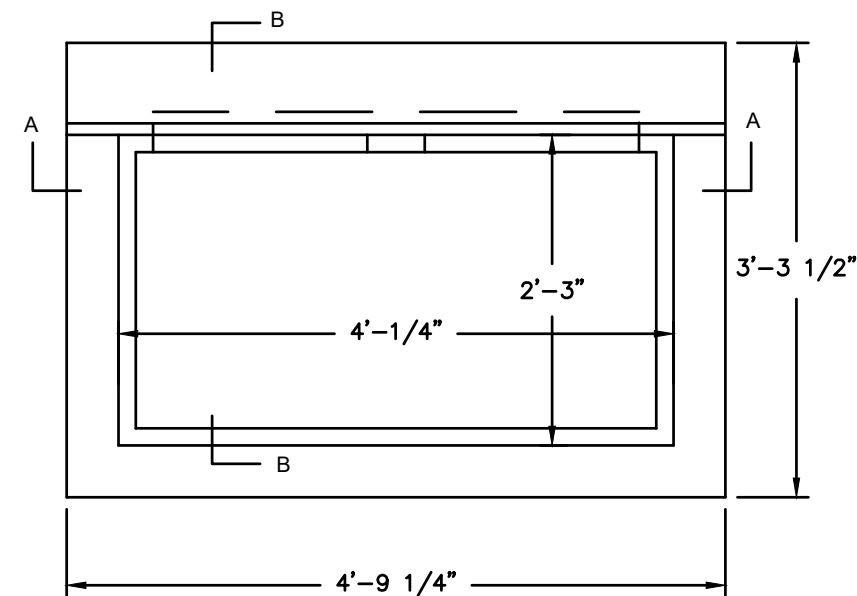
01/10/2021, C:\WORK\ENGINEER, CUMBERLAND COUNTY\PROJECT FILES\CLOUD10 CAR WASH\PROJECT FILES\DWG\DS-4



SECTION A-A



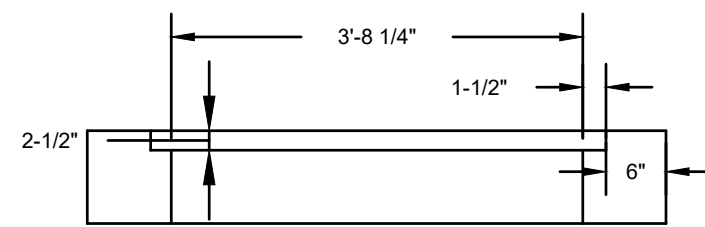
SECTION B-B



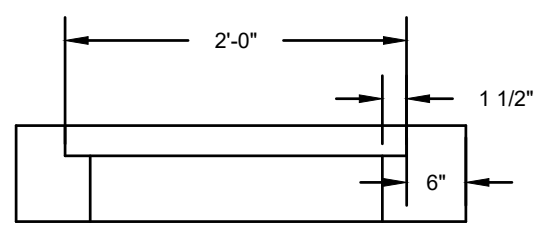
PLAN VIEW

TYPE "C" INLET

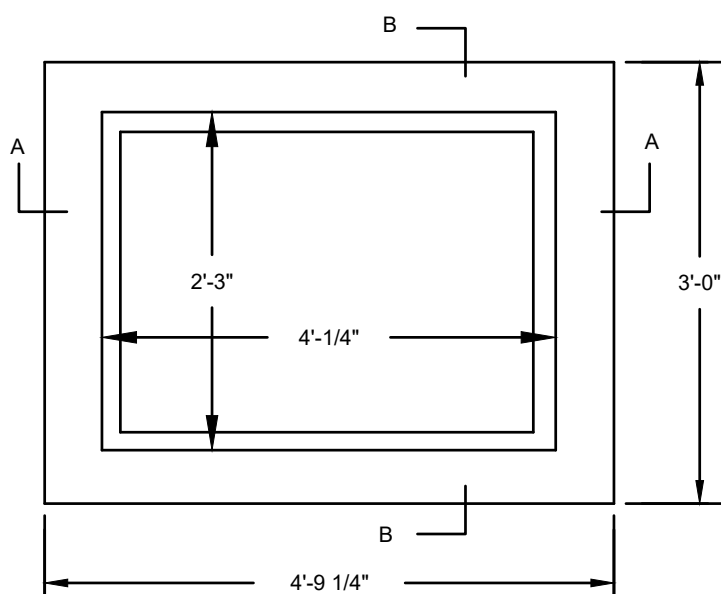
N.T.S



SECTION A-A



SECTION B-B



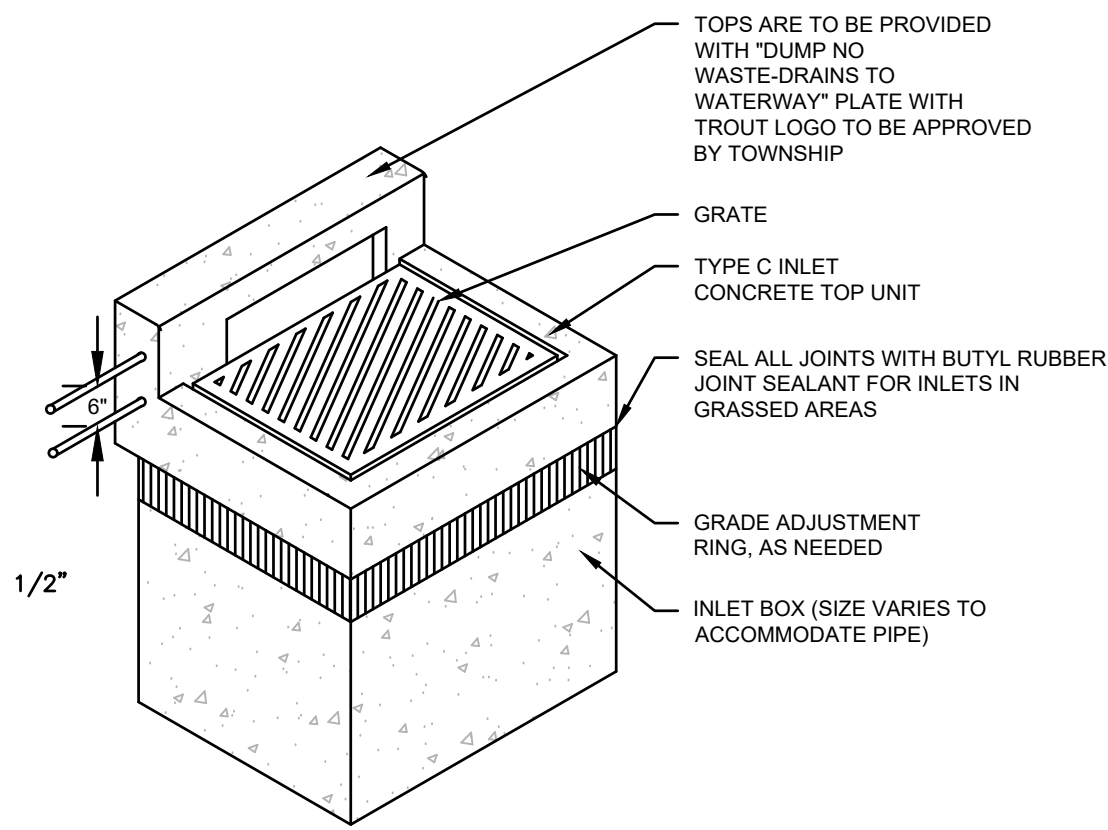
PLAN VIEW

NOTES:

1. INLET TO BE IN CONFORMANCE WITH PA DOT ROADWAY CONSTRUCTION STANDARDS (RC-34) AND CERTIFIED FOR H20 LOADING.
2. PROVIDE BICYCLE SAFE GRATE.

TYPE "M" INLET

N.T.S

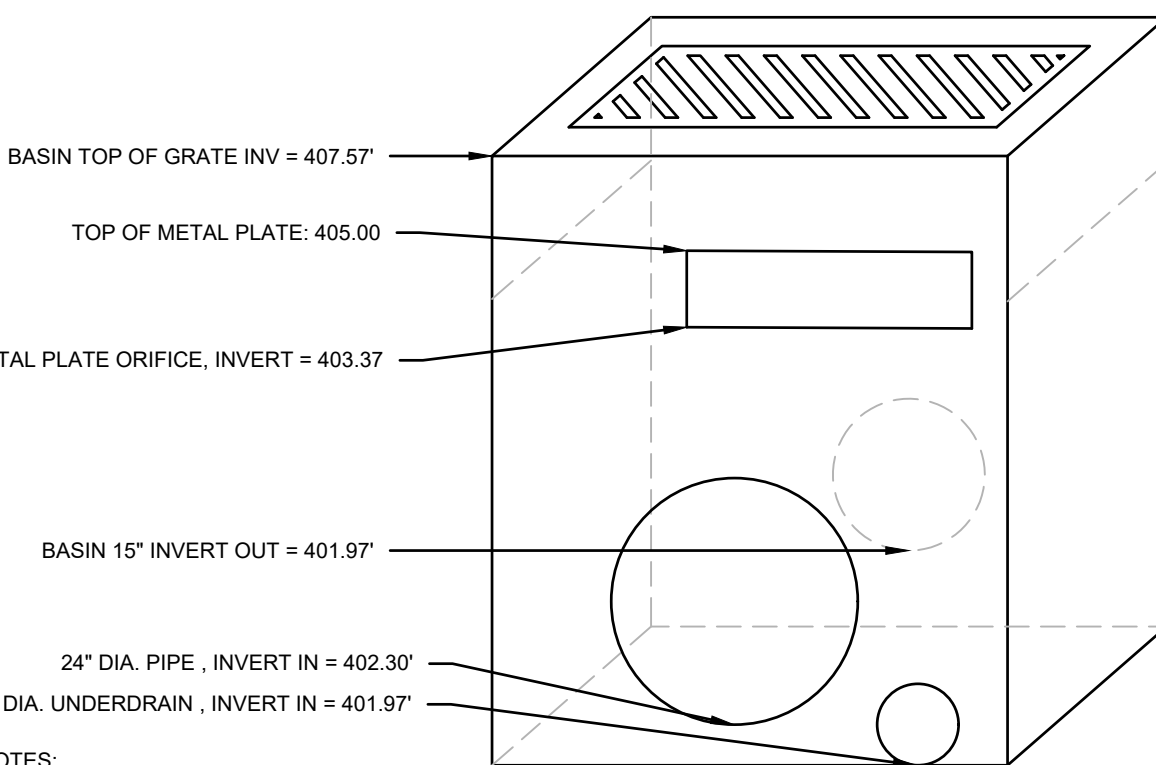
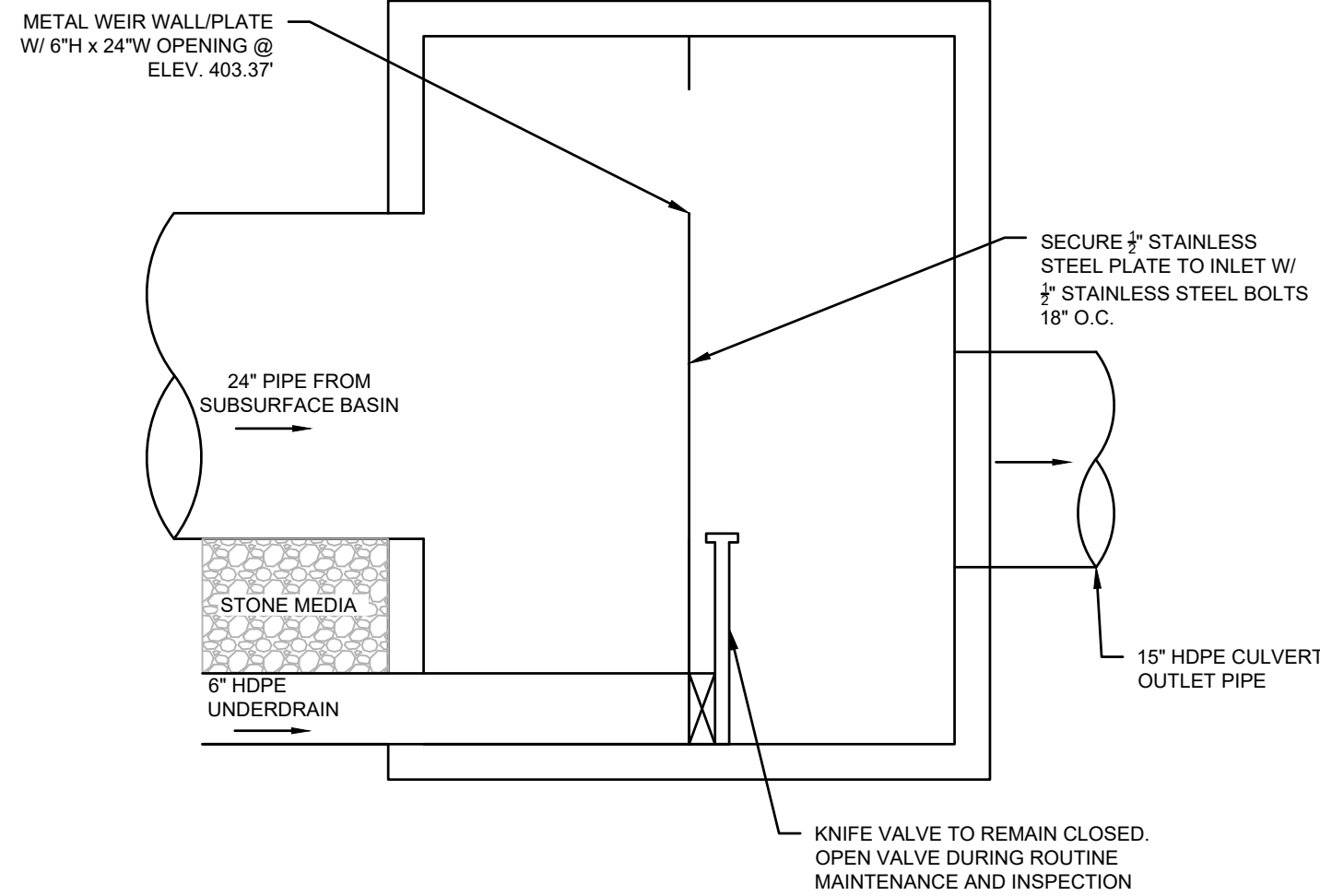
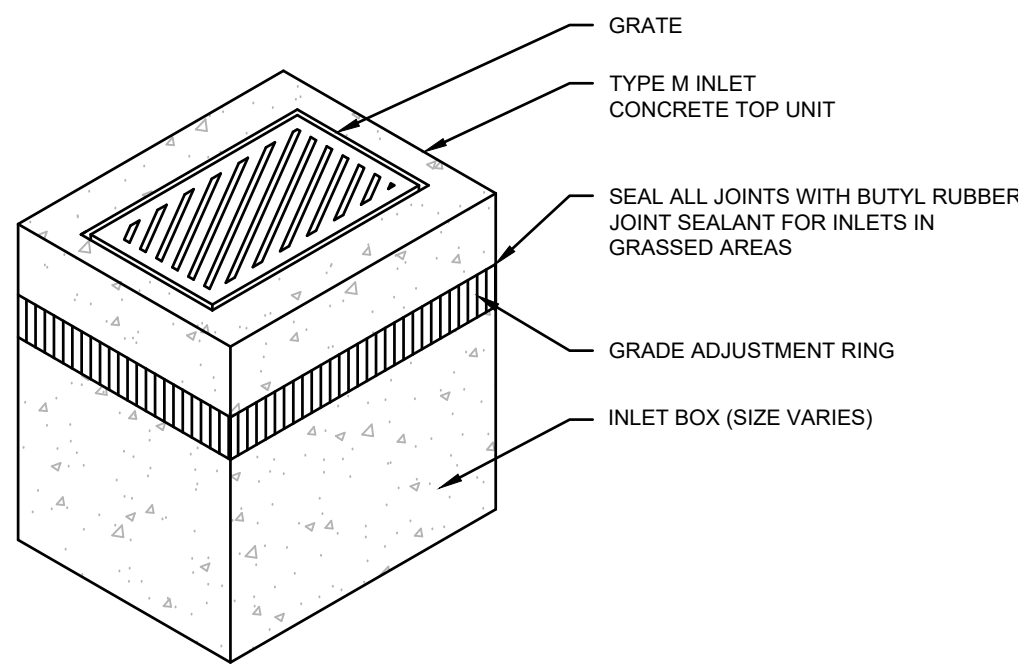


NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408, SECTION 605 AND STANDARDS FOR ROADWAY CONSTRUCTION, RC-34. CONTRACTOR SHALL VERIFY INLET BOX SIZING BASED ON PIPE SIZES AND ALIGNMENT PRIOR TO ORDERING PRECAST STRUCTURES.
2. ALL DRAINAGE STRUCTURES SHALL HAVE POURED-IN-PLACE CONCRETE CHANNEL BOTTOMS.
3. ALL PENNDOT INLETS ARE TO BE PROVIDED WITH EITHER A PAINTED STENCILED LOGO ON THE ROADWAY OR ANOTHER ACCEPTABLE MARKING APPROVED BY THE GOVERNING AGENCY..

NOTES:

1. INLET TO BE IN CONFORMANCE WITH PA DOT ROADWAY CONSTRUCTION STANDARDS (RC-34) AND CERTIFIED FOR H20 LOADING.
2. PROVIDE BICYCLE SAFE GRATE.

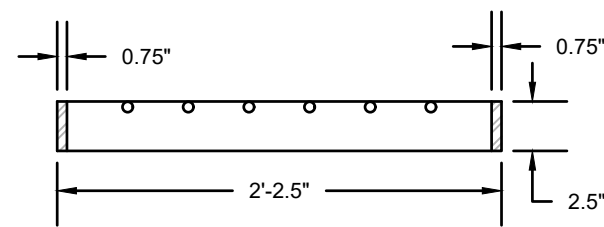


NOTES:

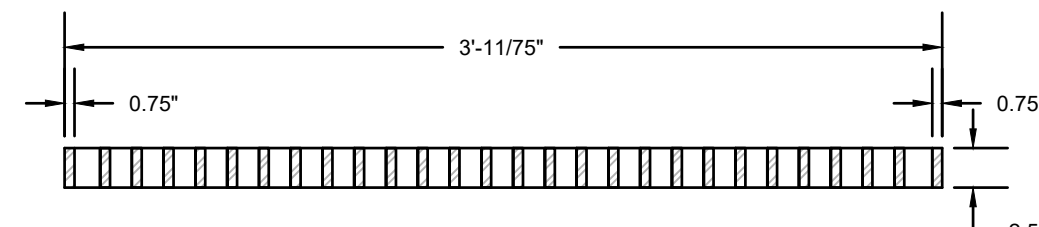
1. THE PROPOSED OUTLET STRUCTURE SHALL BE A TYPE "M" INLET IN ACCORDANCE WITH PENNDOT PUBLICATION 408, SECTION 605 AND STANDARDS FOR ROADWAY CONSTRUCTION, RC-34. OUTLET STRUCTURE SHALL CONTAIN A TRASH RACK.
2. A METAL PLATE WITH SPECIFIED ORIFICE DIMENSIONS AND ELEVATIONS SHALL BE ATTACHED TO THE OUTLET STRUCTURE AFTER REMOVAL OF TEMPORARY RISER PIPE CONNECTION.

PERMANENT OUTLET STRUCTURE

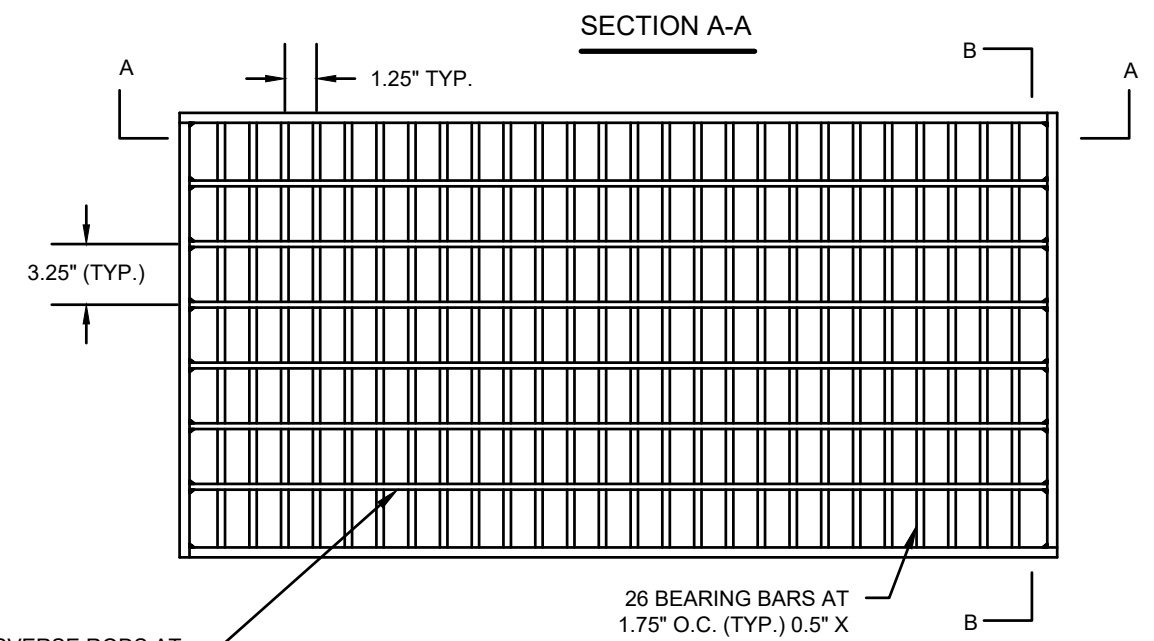
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SECTION B-B



SECTION A-A



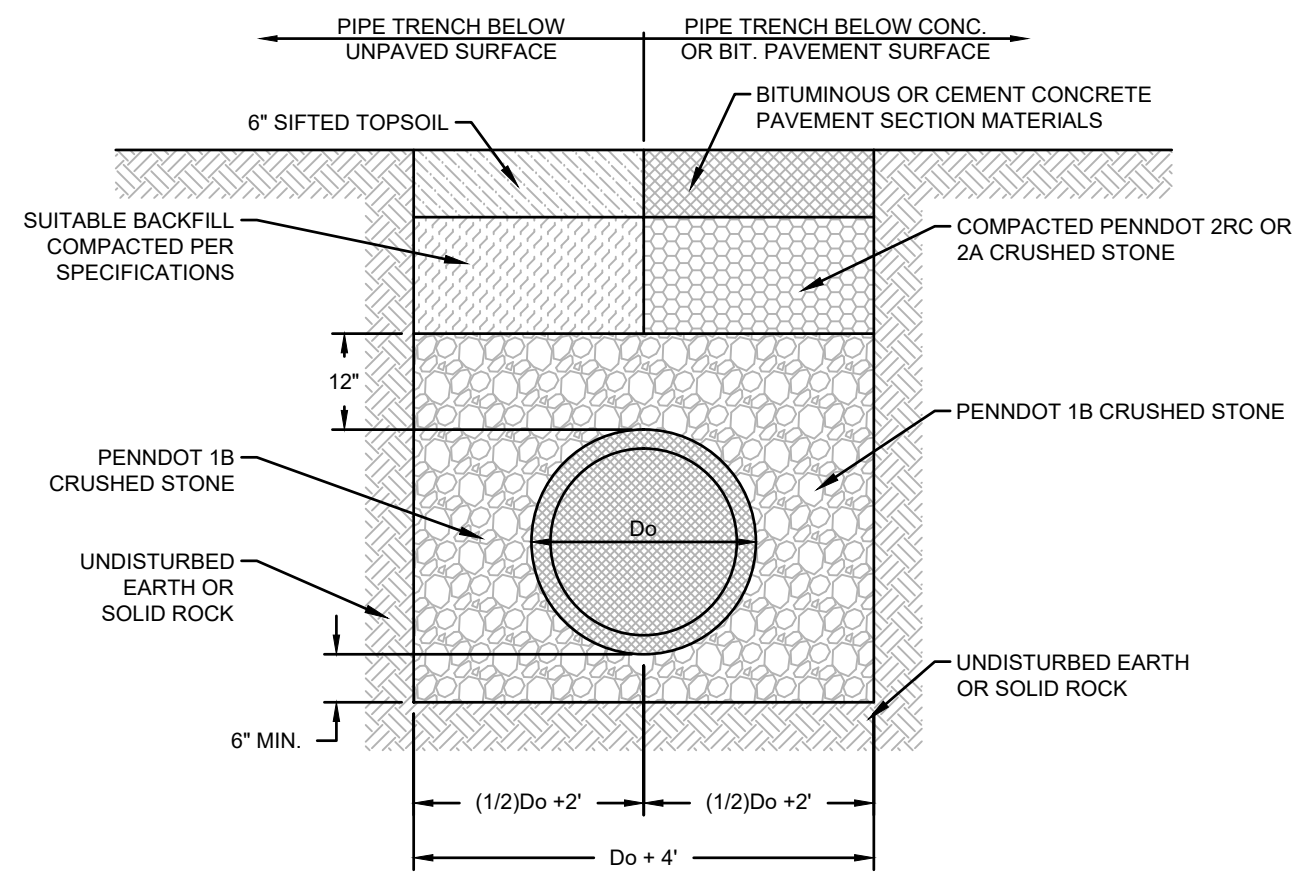
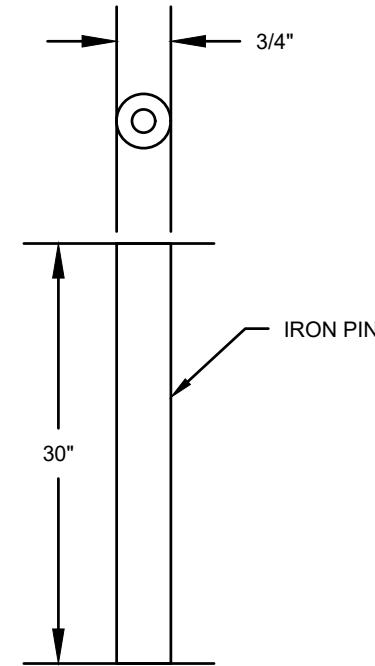
PLAN

STRUCTURAL STEEL BICYCLE SAFE GRATE

N.T.S

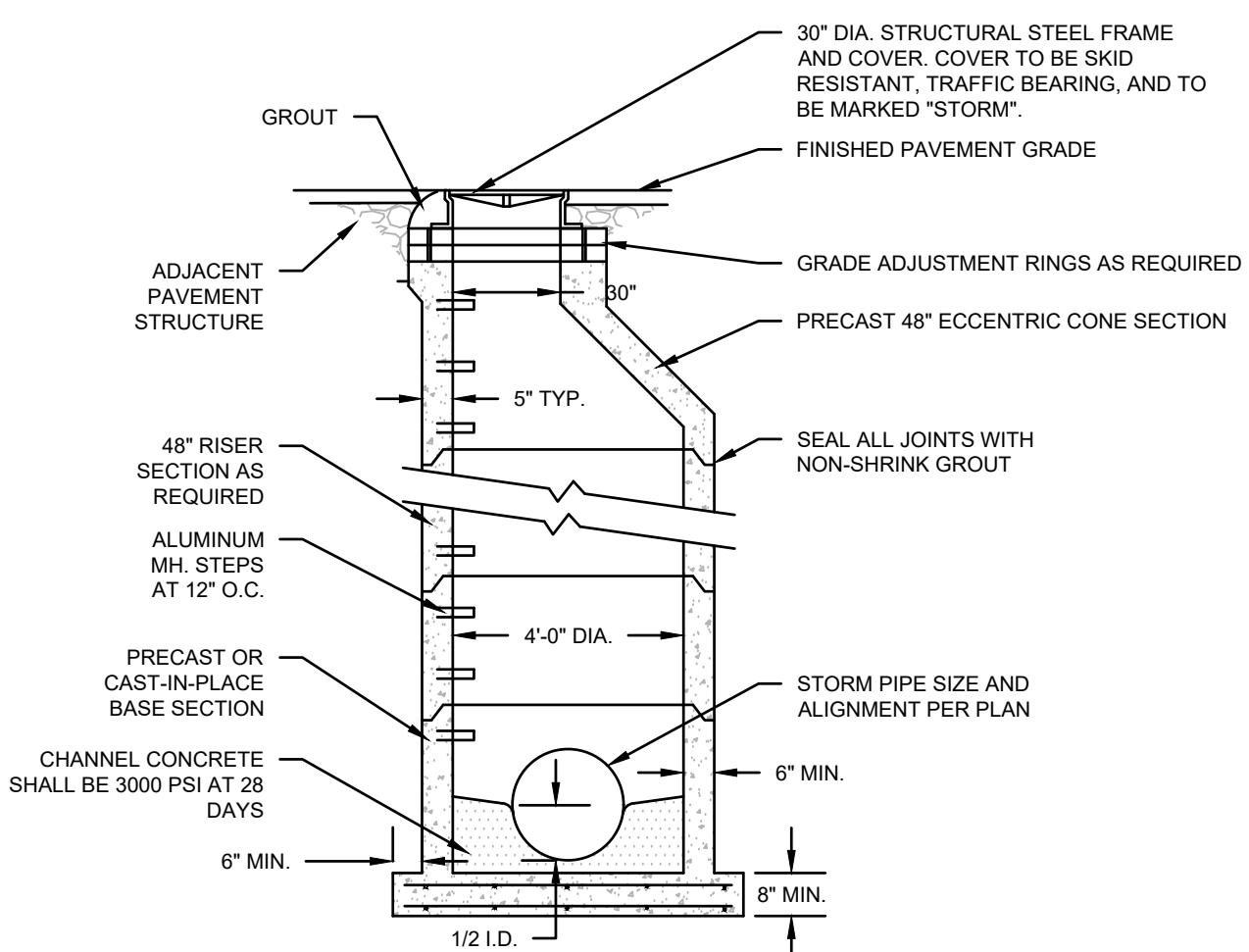
SURVEY MARKER DETAIL

N.T.S



STORM PIPE TRENCH SECTION

N.T.S

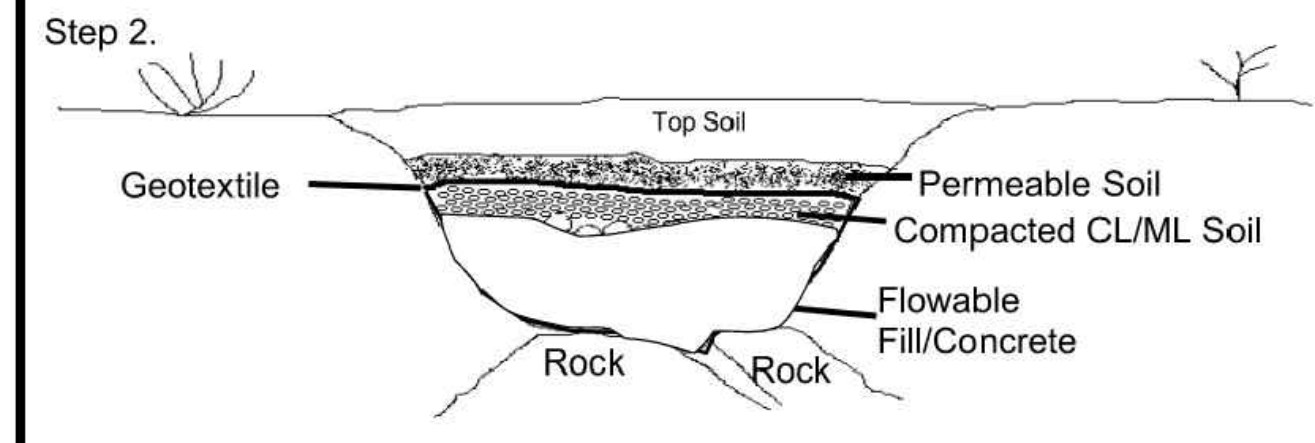
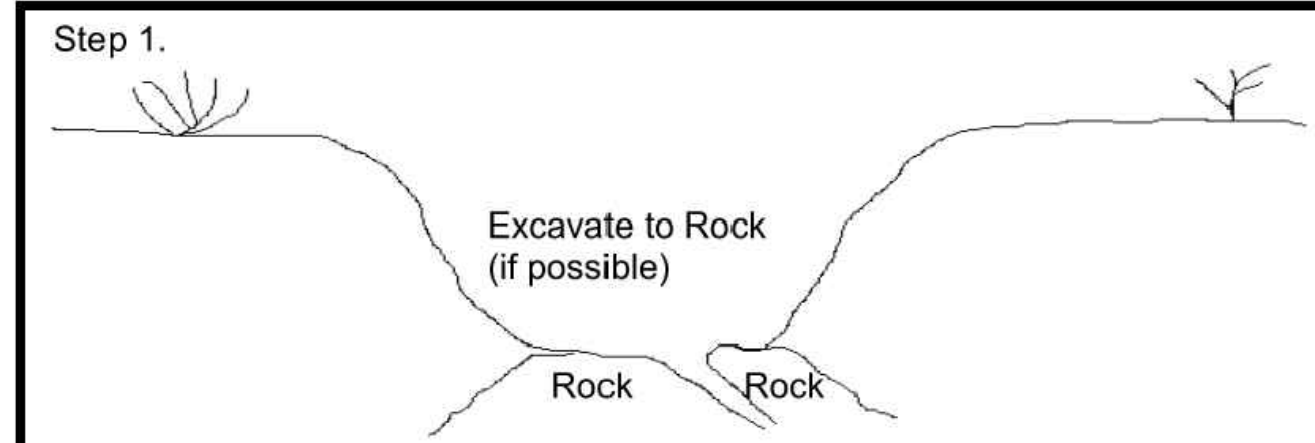


NOTE:

1. CONSTRUCT MANHOLE IN ACCORDANCE WITH PENNDOT PUBLICATION 72, RC-39 FOR PRECAST CONCRETE MANHOLES.
2. ALL MATERIALS AND CONSTRUCTION SHALL MEET THE REQUIREMENTS OF PENN DOT PUBLICATION 408.

TYPICAL STORM SEWER MANHOLE

N.T.S



Step 1. Excavate the sinkhole down to rock if possible.

Step 2. Clean out all loose soil and expose throat, if possible.

Step 3. Place 2 to 3 feet (or as needed) of flowable fill/lean concrete.

Step 4. Compact CL/ML soil over flowable fill/concrete - 2.0 feet min.

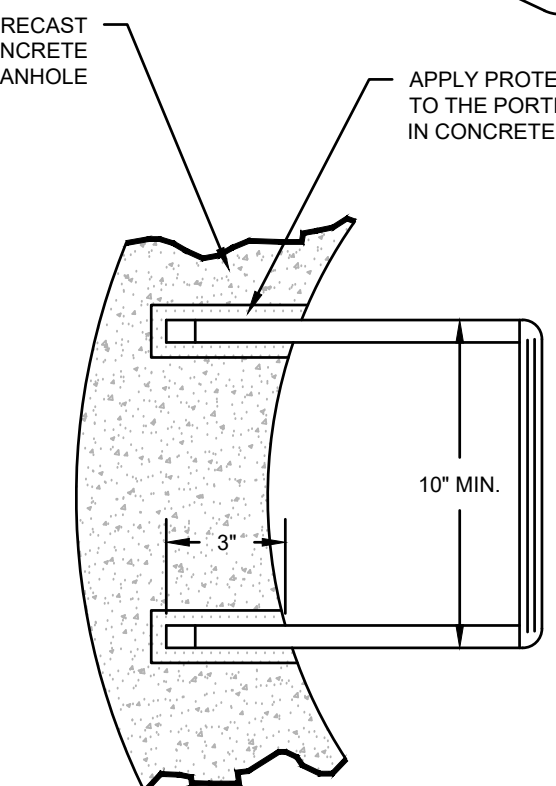
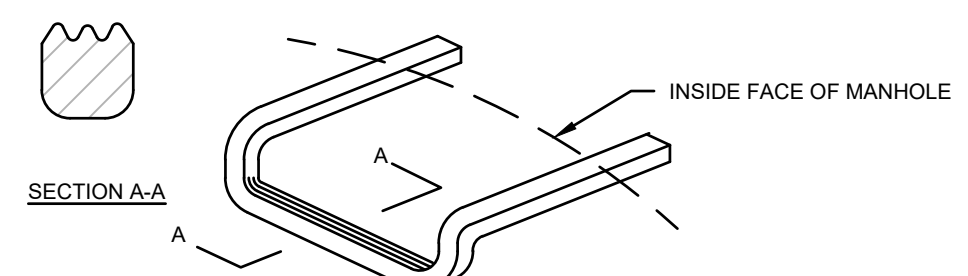
Step 5. Cover the soil with geotextile fabric.

Step 6. Cover geotextile with permeable soil, compatible with on site soils. Compact to 95% of the maximum dry density as obtained by ASTM 698.

Step 7. Fill the remainder of the hole with soil. This can be layered to match the existing soil profile.

ROUTED REPAIR

TYPICAL SINKHOLE REPAIR DETAIL



NOTES:

1. PRECAST MANHOLE STEPS - ALUMINUM ALLOY IN ACCORDANCE WITH PENNDOT SECTION 605.2 (C).
2. STEPS INSTALLED BY THE PRECAST MANHOLE MANUFACTURER MUST EQUAL #1 ABOVE

MANHOLE STEP DETAIL

N.T.S

ADS RETENTION/DETENTION PIPE SYSTEM SPECIFICATION

SCOPE
THIS SPECIFICATION DESCRIBES ADS RETENTION/DETENTION PIPE SYSTEMS FOR USE IN NON-PRESSURE GRAVITY-FLOW STORM WATER COLLECTION SYSTEMS UTILIZING A CONTINUOUS OUTFALL STRUCTURE.

PIPE REQUIREMENTS
ADS RETENTION/DETENTION SYSTEMS MAY UTILIZE ANY OF THE VARIOUS PIPE PRODUCTS BELOW:
• N-12" STIB PIPE (PER AASHTO) SHALL MEET AASHTO M 294, TYPE S OR ASTM F2306
• N-12" STIB PIPE (PER ASTM F2648) SHALL MEET ASTM F2648
• N-12" MEGA GREEN" STIB SHALL MEET ASTM F2648
ALL PRODUCTS SHALL HAVE A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS. ALL STIB PIPE PRODUCTS ARE AVAILABLE AS PERFORATED OR NON-PERFORATED. WTIB PIPE PRODUCTS ARE ONLY AVAILABLE AS NON-PERFORATED. PRODUCT-SPECIFIC PIPE SPECIFICATIONS ARE AVAILABLE IN THE DRAINAGE HANDBOOK SECTION 1 "SPECIFICATIONS".

JOINT PERFORMANCE
PLAIN END / SOIL-TIGHT (STIB):
STIB PIPE SHALL BE JOINED USING A BELL AND SPIGOT JOINT. THE BELL AND SPIGOT JOINT SHALL MEET THE SOIL-TIGHT REQUIREMENTS OF ASTM F2306 AND GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477.

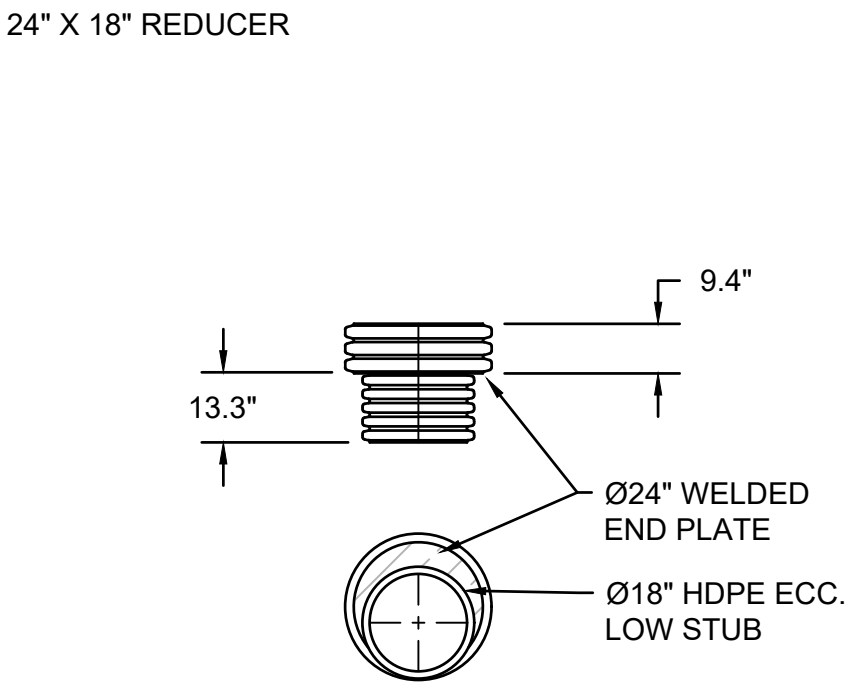
PLAIN END PIPE AND FITTINGS CONNECTIONS SHALL BE JOINED WITH COUPLING BANDS COVERING AT LEAST TWO FULL CORRUGATIONS ON EACH END OF THE PIPE. GASKETED SOIL-TIGHT COUPLING BAND CONNECTIONS SHALL INCORPORATE A CLOSED-CELL SYNTHETIC EXPANDED RUBBER GASKET MEETING THE REQUIREMENTS OF ASTM D1059 GRADE 2A2. GASKETS, WHEN APPLICABLE, SHALL BE INSTALLED BY THE PIPE MANUFACTURER.

FITTINGS
FITTINGS SHALL CONFORM TO ASTM F2306 AND MEET JOINT PERFORMANCE INDICATED ABOVE FOR FITTINGS CONNECTIONS. CUSTOM FITTINGS ARE AVAILABLE AND MAY REQUIRE SPECIAL INSTALLATION CRITERION.

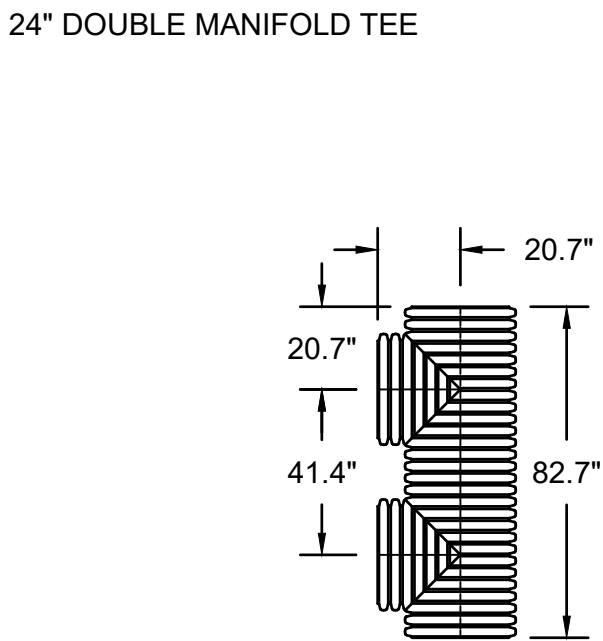
INSTALLATION
INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D2321 AND ADS RECOMMENDED INSTALLATION GUIDELINES, WITH THE EXCEPTION THAT MINIMUM COVER IN NON-TRAFFIC AREAS FOR 12-60 INCH (300-1500 mm) DIAMETERS SHALL BE 1 FT (0.3 m). MINIMUM COVER IN TRAFFICKED AREAS FOR 12-36 INCH (300-900 mm) DIAMETERS SHALL BE 1 FT (0.3 m) AND FOR 42-60 INCH (1050-1500 mm) DIAMETERS, THE MINIMUM COVER SHALL BE 2 FT (0.6 m). BACKFILL SHALL CONSIST OF CLASS I (COMPACTED) OR CLASS II (MINIMUM 95% SPD) MATERIAL, WITH THE EXCEPTION THAT 60 INCH (1500 mm) SYSTEMS SHALL USE CLASS I MATERIAL ONLY. MINIMUM COVER HEIGHTS DO NOT ACCOUNT FOR PIPE BUOYANCY. REFER TO ADS TECHNICAL NOTE 5.05 "PIPE FLOATATION" FOR BUOYANCY DESIGN CONSIDERATIONS. MAXIMUM COVER OVER SYSTEM USING STANDARD BACKFILL IS 8 FT (2.4 m); CONTACT A REPRESENTATIVE WHEN MAXIMUM FILL HEIGHT MAY BE EXCEEDED. ADDITIONAL INSTALLATION REQUIREMENTS ARE PROVIDED IN THE DRAINAGE HANDBOOK SECTION 6 "RETENTION/DETENTION".

ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

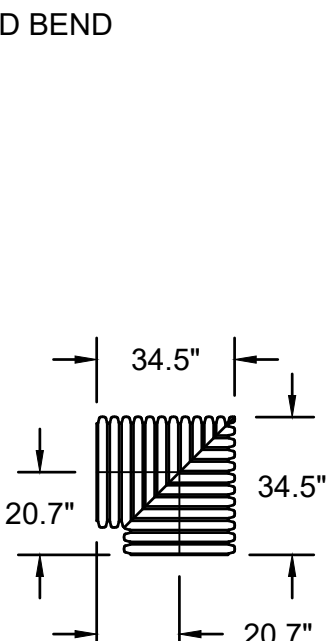
- NOTES:
- 1) ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF RISERS, INLETS AND OUTLETS, SHALL BE VERIFIED BY THE ENGINEER PRIOR TO RELEASING FOR FABRICATION.
 - 2) IN SITUATIONS WHERE A FINE-GRAINED BACKFILL MATERIAL IS USED ADJACENT TO THE PIPE SYSTEM, AND ESPECIALLY INVOLVING GROUND WATER CONDITIONS, CONSIDERATION SHOULD BE GIVEN TO THE USE OF GASKETED PIPE JOINTS. AT THE VERY LEAST THE PIPE JOINTS SHOULD BE WRAPPED IN A SUITABLE, NON-WOVEN GEOTEXTILE FABRIC TO PREVENT INFILTRATION OF FINES INTO THE PIPE SYSTEM.
 - 3) CONSIDERATION FOR CONSTRUCTION EQUIPMENT LOADS MUST BE TAKEN INTO ACCOUNT.
 - 4) ALL PIPE DIMENSIONS ARE SUBJECT TO MANUFACTURERS TOLERANCES.
 - 5) ALL RISERS TO BE FIELD EXTENDED OR TRIMMED TO FINAL GRADE.



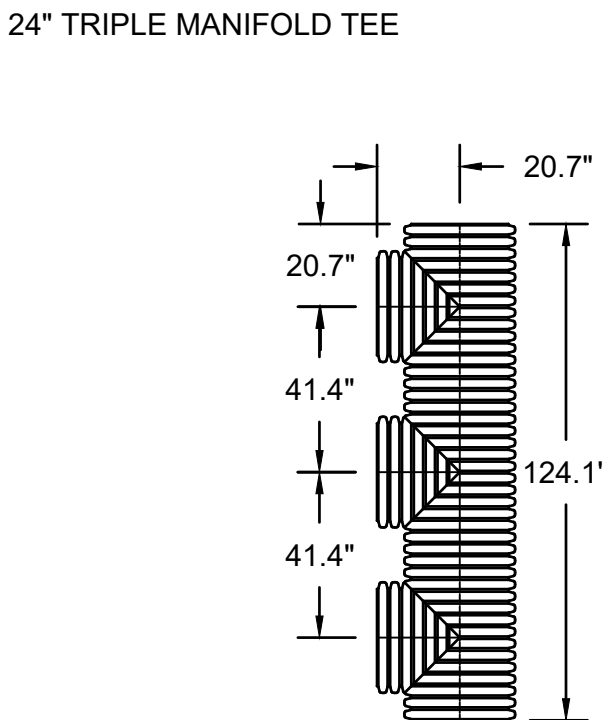
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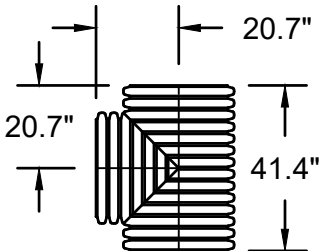
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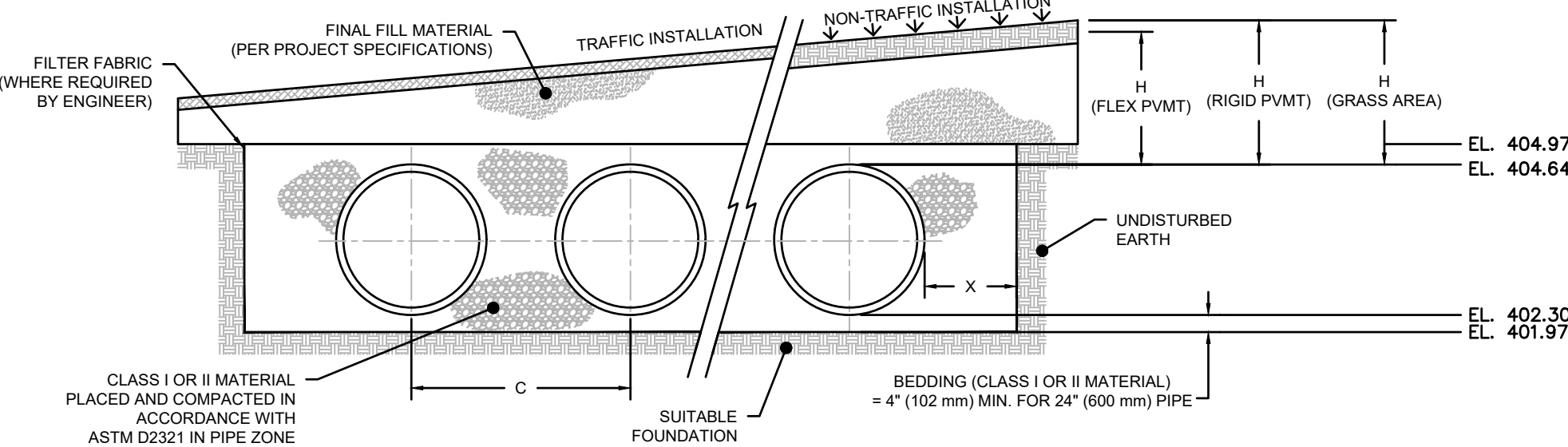
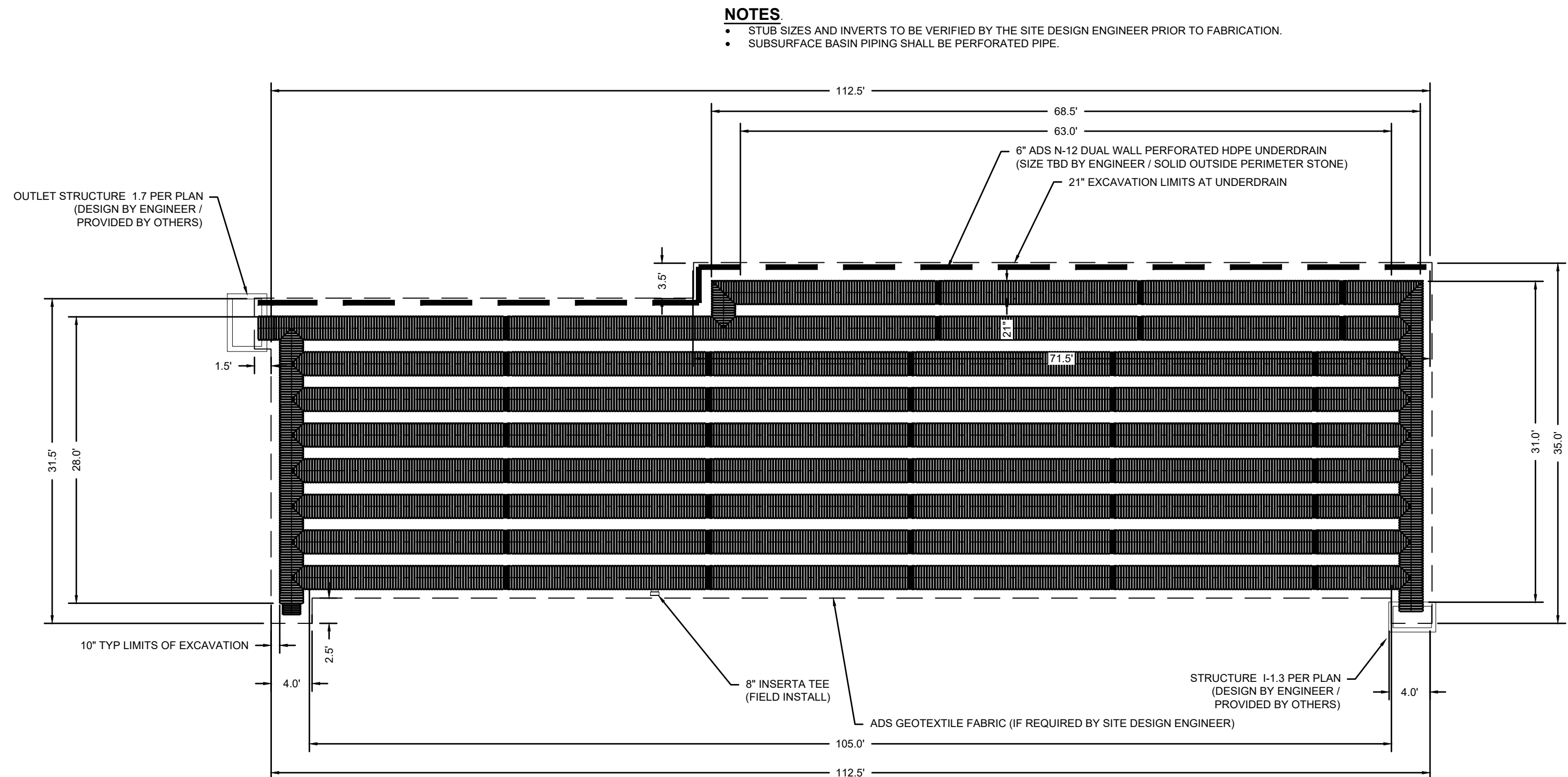
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ITEM #: 4
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2453AN



ITEM #: 2
QTY: 3
2451AN

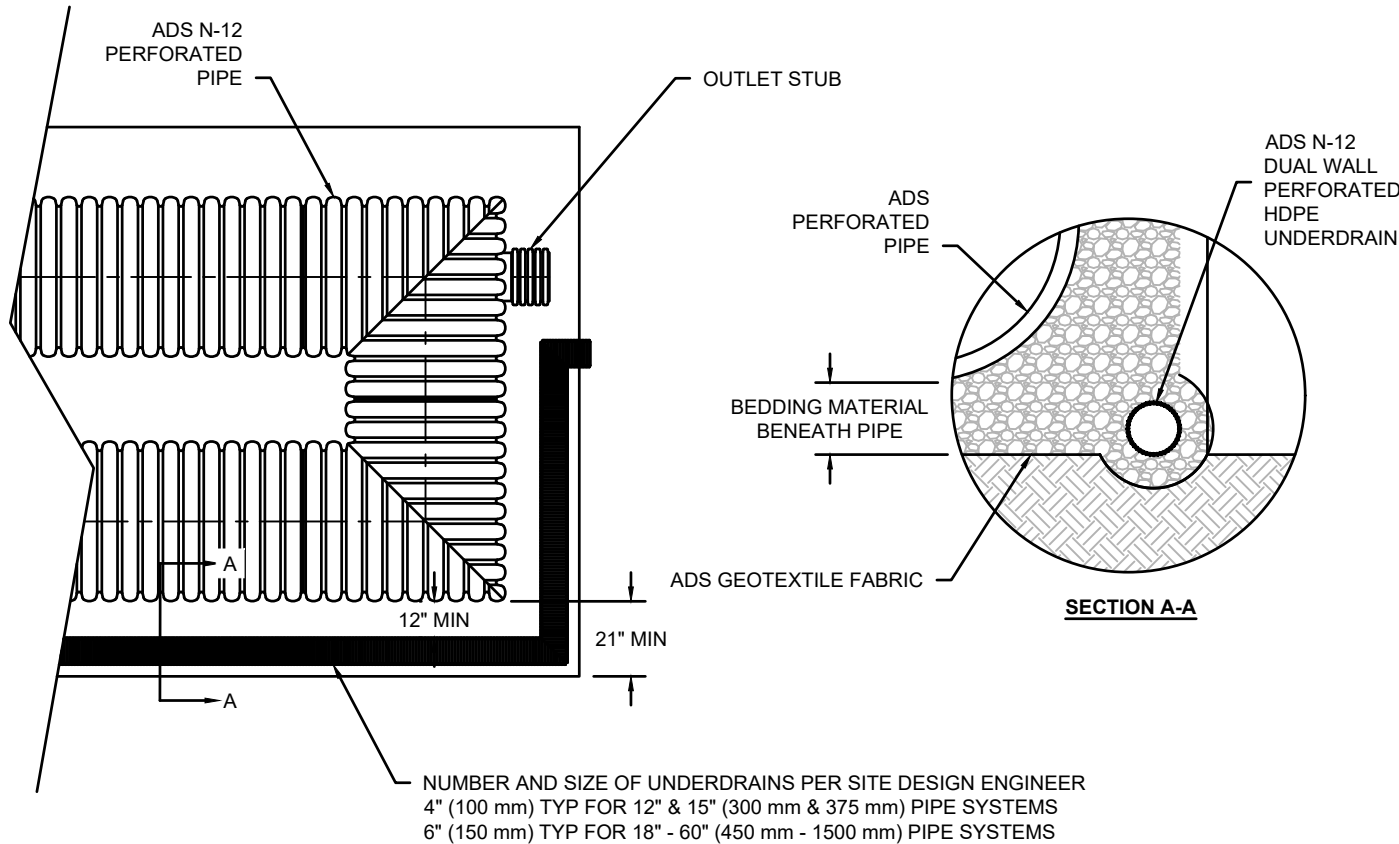


NOMINAL DIAMETER	NOMINAL O.D.	STANDARD SPACING "C"	TYPICAL SIDE WALL "X"	MIN. H (NON-TRAFFIC)	MIN. H (TRAFFIC)	MAX. H*
24"	28"	41.4"	10"	12"	12"	8"
(600 mm)	(711 mm)	(1052 mm)	(254 mm)	(305 mm)	(305 mm)	(2.4 m)

* MAXIMUM FILL HEIGHTS OVER MANIFOLD FITTINGS. CONTACT MANUFACTURER'S REPRESENTATIVE FOR INSTALLATION CONSIDERATIONS WHEN COVER EXCEEDS 8 FT (2.4 m).

- NOTES:
1. ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
 2. ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.
 3. MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL, WHEN REQUIRED. SEE ASTM D2321.
 4. FILTER FABRIC: A GEOTEXTILE FABRIC MAY BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.
 5. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
 6. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I OR II. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (102 mm) FOR 4"-24" (100-600 mm); 6" (152 mm) FOR 30"-60" (750-1500 mm).
 7. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I OR II IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" (152 mm) ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
 8. COVER: MINIMUM COVER OVER ALL RETENTION/DETENTION SYSTEMS IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" (305 mm) FROM TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER IS 12" (305 mm) UP TO 36" (900 mm) DIAMETER PIPE AND 24" (610 mm) OF COVER FOR 42"-60" (1050-1500 mm) DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT. MAXIMUM FILL HEIGHT LIMITED TO 8 FT (2.4 m) OVER FITTINGS FOR STANDARD INSTALLATIONS. CONTACT A SALES REPRESENTATIVE WHEN MAXIMUM FILL HEIGHTS EXCEED 8 FT (2.4 m) FOR INSTALLATION CONSIDERATIONS.
 9. PIPE PERFORATION TO CONFORM TO AASHTO CLASS 2 PERFORATIONS. PROVIDE EIGHT EQUALLY SPACED 3/8" DIAMETER HOLES IN EACH CORRUGATION VALLEY.
 10. MANHOLE TOPS SHALL BE POSITIONED ABOVE STAIRS.
 11. GEOTECHNICAL RECOMMENDATION FOR SUBSURFACE INFILTRATION BED:
 - 11.1. IF ROCK IS ENCOUNTERED PRIOR TO REACHING BASIN BOTTOM, ROCK SHALL OVEREXCAVATED 2 FEET BELOW BASIN BOTTOM ELEVATION AND BACKFILLED WITH SUITABLE SOIL MATERIAL BACKFILL. DO NOT ALLOW HEAVY EQUIPMENT WITHIN THE BASIN BOTTOM. REFER TO SUBSURFACE BASIN CONSTRUCTION NOTES ON SHEET GS-1.
 - 11.2. AT THE TIME OF TESTING, GROUNDWATER WAS NOT ENCOUNTERED AT OR ABOVE THE TERMINATION DEPTHS WITHIN THE FOOTPRINT OF THE PROPOSED BASIN. HOWEVER, SHOULD GROUNDWATER BE ENCOUNTERED DURING CONSTRUCTION THE GEOTECHNICAL AND CIVIL ENGINEERING SHOULD BE MADE AWARE IMMEDIATELY SO MODIFICATIONS TO THE DESIGN CAN BE MADE.

UNDERDRAIN DETAIL
NT8



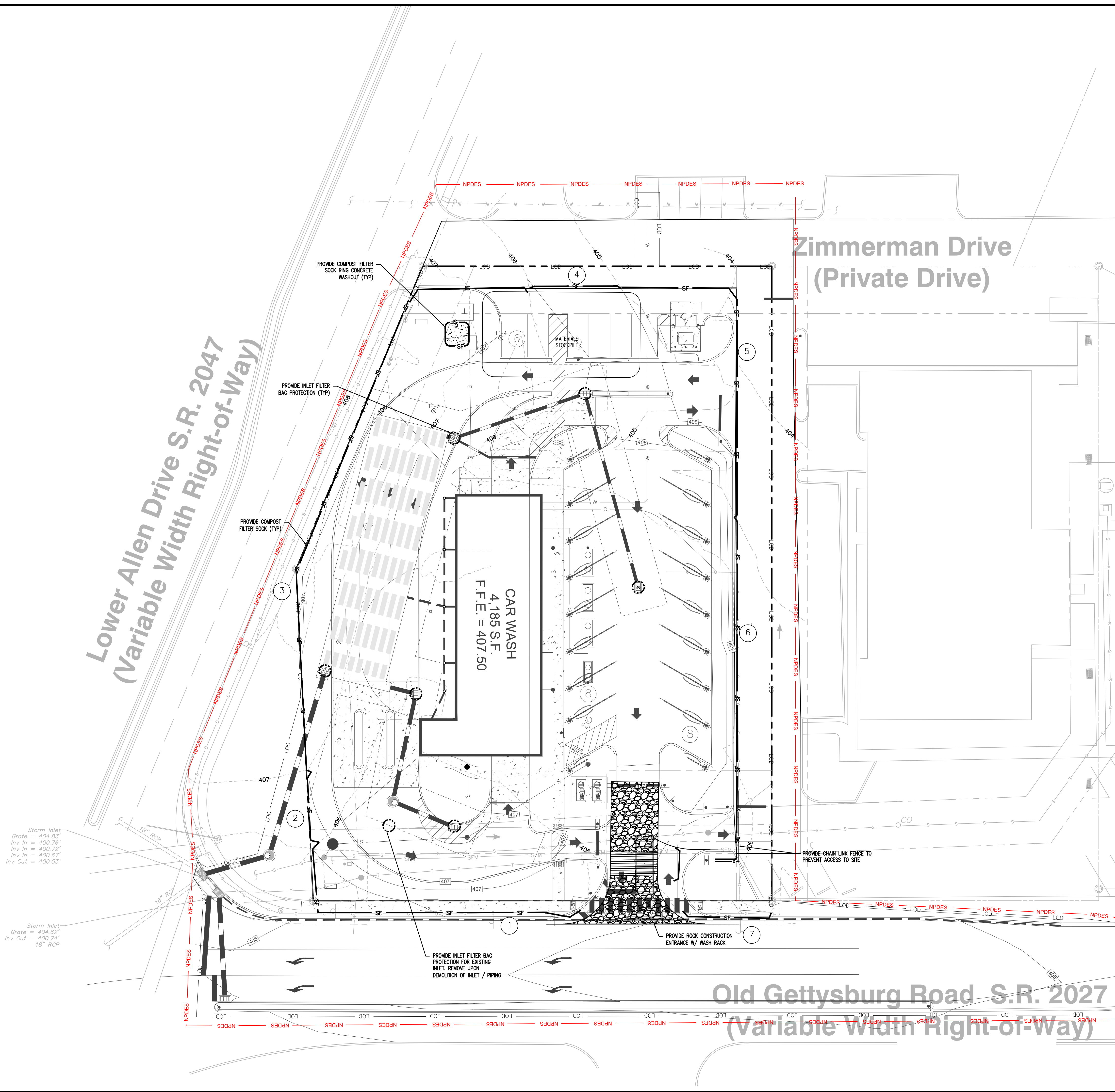
POI-1 - IAF raised
Prepared by Hyland Engineering
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Type II 24-hr 1-yr Rainfall=2.41"
Printed 12/7/2022
Page 8

Stage-Area-Storage for Pond 3P: Subsurface Infiltration Basin

Elevation (feet)	Surface (sq-ft)	Storage (cubic-feet)	Elevation (feet)	Surface (sq-ft)	Storage (cubic-feet)
401.97	3,360	0	404.57	3,360	4,977
402.02	3,360	67	404.62	3,360	5,033
402.07	3,360	134	404.67	3,360	5,089
402.12	3,360	202	404.72	3,360	5,166
402.17	3,360	269	404.77	3,360	5,233
402.22	3,360	336	404.82	3,360	5,301
402.27	3,360	403	404.87	3,360	5,368
402.32	3,360	469	404.92	3,360	5,435
402.37	3,360	525	404.97	3,360	5,502
402.42	3,360	577	405.02	3,360	5,502
402.47	3,360	624	405.07	3,360	5,502
402.52	3,360	685	405.12	3,360	5,502
402.57	3,360	762	405.17	3,360	5,502
402.62	3,360	847	405.22	3,360	5,502
402.67	3,360	938	405.27	3,360	5,502
402.72	3,360	1,034	405.32	3,360	5,502
402.77	3,360	1,134	405.37	3,360	5,502
402.82	3,360	1,238	405.42	3,360	5,502
402.87	3,360	1,345	405.47	3,360	5,502
402.92	3,360	1,454	405.52	3,360	5,502
402.97	3,360	1,565	405.57	3,360	5,502
403.02	3,360	1,679	405.62	3,360	5,502
403.07	3,360	1,794	405.67	3,360	5,502
403.12	3,360	1,910	405.72	3,360	5,502
403.17	3,360	2,028	405.77	3,360	5,502
403.22	3,360	2,147	405.82	3,360	5,502
403.27	3,360	2,267	405.87	3,360	5,502
403.32	3,360	2,387	405.92	3,360	5,502
403.37	3,360	2,508	405.97	3,360	5,502
403.42	3,360	2,630			
403.47	3,360	2,751			
403.52	3,360	2,873			
403.57	3,360	2,994			
403.62	3,360	3,115			
403.67	3,360	3,235			
403.72	3,360	3,355			
403.77	3,360	3,474			
403.82	3,360	3,592			
403.87	3,360	3,708			
403.92	3,360	3,823			
403.97	3,360	3,937			
404.02	3,360	4,048			
404.07	3,360	4,158			
404.12	3,360	4,264			
404.17	3,360	4,368			
404.22	3,360	4,468			
404.27	3,360	4,564			
404.32	3,360	4,655			
404.37	3,360	4,740			
404.42	3,360	4,817			
404.47	3,360	4,879			
404.52	3,360	4,926			

01/10/2021, C:\CONSTRUCTION\EROSION\HYLAND\ENGINEERING\PROJECT FILES\PROJECT FILES\LAND DEVELOPMENT\EC2218_P01.DWG EC-1



SITE UTILITIES PLAN LEGEND

---	LOD	---	LOD	---	PROPERTY LINE
---	NPDES	---	NPDES	---	LIMIT OF DISTURBANCE
---	SF	---	SF	---	NPDES BOUNDARY
---	X	---	X	---	PROPOSED COMPOST FILTER SOCK
---	X	---	X	---	PROPOSED INLET FILTER BAG PROTECTION
---	X	---	X	---	PROPOSED CONSTRUCTION FENCE

SOILS INFORMATION

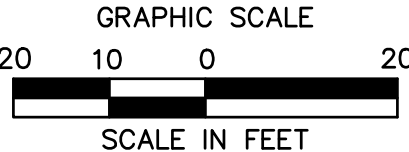
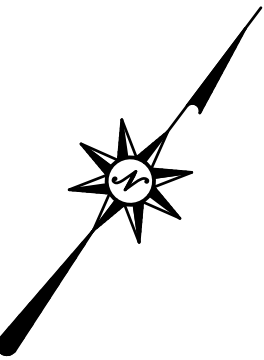
Ub URBAN LAND AND URBAN, 0 TO 8 PERCENT SLOPES (ENTIRE SITE)

GEOLOGY INFORMATION

Osp ST. PAUL GROUP LIMESTONE
Ops PINESBURG STATION FORMATION DOLOMITE

LIMIT OF DISTURBANCE

THE PROPOSED SITE LIMIT OF DISTURBANCE IS 1.23 ACRES.
THE PROPOSED PROJECT IS ESTIMATED TO BEGIN IN THE SPRING OF 2023 AND CONCLUDE IN THE FALL OF 2023.



REVISIONS		Description / Reason
No.	Date	
1	12/09/2022	REVISED PER TOWNSHIP & COUNTY COMMENTS
2	03/03/2023	REVISED PER TOWNSHIP COMMENTS
3	03/17/2023	REVISED PER APPROVED TCF / ISSUED FOR CONSTRUCTION
Designer		C.J.S.
Drafter		C.J.S.
Reviewer		A.J.D.
Scale		1" = 20'
Project No.		220518
Date		10/14/2022
CAD File:		EC2218_P01
Sheet Title		EROSION & SEDIMENT POLLUTION CONTROL PLAN
Sheet Number		EC-1

STANDARD E&S PLAN NOTES

THE FOLLOWING NOTES SHOULD BE PLACED ON THE E&S PLAN DRAWINGS.

1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THESE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNERS, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
9. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL, OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
14. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL MEASURES AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs OR MODIFICATIONS OF THOSE INSTALLED MUST BE INCORPORATED.
15. A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
16. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
17. ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER SPECIFIED ON THE PLAN DRAWINGS.
18. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES – 6 TO 12 INCHES ON COMPACTED SOILS – PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
19. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
20. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
21. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
22. FROZEN MATERIAL OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
23. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
24. SEEDS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
25. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK SHALL BE VEGETATED. SEEDING AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
26. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
27. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING EROSION DUE TO SLURRY FLOW OR OTHER MOVEMENTS.
28. E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
29. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
30. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
31. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
32. FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
33. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATER OR GROUNDWATER SYSTEMS.
34. ALL CHANNELS SHALL BE KEPT FREE OF OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FILL, ROCKS, LEAVES, WOODY DEBRIS, ACCUMULATED SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIAL/WASTES.
35. UNDERGROUND UTILITIES CUTTING THROUGH ANY ACTIVE CHANNEL SHALL BE IMMEDIATELY BACKFILLED AND THE CHANNEL RESTORED TO ITS ORIGINAL CROSS-SECTION AND PROTECTION LIVING. ANY BASE OF FLOW WITHIN THE CHANNEL SHALL BE CONVEYED PAST THE WORK AREA IN THE MANNER DESCRIBED IN THIS PLAN UNTIL SUCH RESTORATION IS COMPLETE.
36. UPON REQUEST, THE APPLICANT OR HIS CONTRACTOR SHALL PROVIDE AN AS-BUILT (RECORD DRAWING) FOR ANY SEDIMENT BASIN OR TRAP TO THE MUNICIPAL INSPECTOR, LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
37. EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
38. UPON TEMPORARY CESSATION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES WILL EXCEED 4 DAYS, THE SITE SHALL BE IMMEDIATELY SEEDDED, MULCHED, OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION PENDING FUTURE EARTH DISTURBANCE ACTIVITIES.

UTILITY TRENCH WORK NOTES

1. ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF THE TRENCH SO AS TO ALLOW THE TRENCH TO INTERCEPT ALL SILT LADEN RUNOFF.
2. CONTRACTOR SHALL ONLY EXCAVATE AS MUCH UTILITY TRENCH WORK AS CAN BE COMPLETED, BACKFILLED AND STABILIZED IN ONE DAY SO AS TO LIMIT THE AMOUNT OF OPEN, DISTURBED TRENCHING.

TEMPORARY SEEDING FOR SOIL STABILIZATION

SPECIES:	ANNUAL RYEGRASS (70%)
% PURE LIVE SEED:	PERENNIAL RYEGRASS (30%)
APPLICATION RATE:	95%
FERTILIZER TYPE: 10-10-10	4LBS./MSF
FERTILIZER APPLICATION RATE:	12.5 LBS/1,000 SF
LIMING RATE:	40 LBS/1,000 SF
MULCH TYPE:	STRAW MULCH RATE: 140 LBS/1,000 SF
ANCHOR MATERIAL:	EC3000 COPOLYMER TACKIFIER
ANCHORING METHOD:	SLURRY, MIX AND SPRAY
ANCHORING RATE OF APPLICATION:	3 LBS/ACRE
SEEDING DATE:	AS REQUIRED

LIME AND FERTILIZER APPLICATION RATES

TABLE 11.2				
SOIL AMENDMENT APPLICATION RATE EQUIVALENTS				
SOIL AMENDMENT	PERMANENT SEEDING APPLICATION RATE			NOTES
	PER ACRE	PER 1,000 SQ. FT.	PER 1,000 SQ. YD.	
AGRICULTURAL LIME	6 TONS	240 LB.	2,480 LB.	OR AS PER SOIL TEST; MAY NOT BE REQUIRED IN AGRICULTURAL FIELDS
10-10-20 FERTILIZER	1,000 LB.	25 LB.	210 LB.	OR AS PER SOIL TEST; MAY NOT BE REQUIRED IN AGRICULTURAL FIELDS
TEMPORARY SEEDING APPLICATION RATE				
AGRICULTURAL LIME	1 TON	40 LB.	410 LB.	TYPICALLY NOT REQUIRED FOR TOPSOIL STOCKPILES
10-10-10 FERTILIZER	500 LB.	12.5 LB.	100 LB.	TYPICALLY NOT REQUIRED FOR TOPSOIL STOCKPILES

ADAPTED FROM PENN STATE, "EROSION CONTROL AND CONSERVATION PLANTINGS ON NONCROPLAND"

NOTE: A COMPOST BLANKET WHICH MEETS THE STANDARDS OF THIS CHAPTER MAY BE SUBSTITUTED FOR THE SOIL AMENDMENT SHOWN IN TABLE 11.2

MULCHING

MULCHES SHOULD BE APPLIED AT THE RATES SHOWN IN TABLE 11.6

STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING WINDBLOWN. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO "CRIMP" THE STRAW OR HAY INTO THE SOIL – ABOUT 3 INCHES. THIS METHOD SHOULD BE LIMITED TO SLOPES NO STEEPER THAN 3H:1V. THE MACHINERY SHOULD BE OPERATED ON THE CONTOUR. NOTE: CRIMPING OF HAY OR STRAW BY RUNNING OVER IT WITH TRACKED MACHINERY IS NOT RECOMMENDED.

POLYMERIC AND GUM TACKIFIERS MIXED AND APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS MAY BE USED TO TACK MULCH. AVOID APPLICATION DURING RAIN AND ON WINDY DAYS. A 24-HOUR CURING PERIOD AND A SOIL TEMPERATURE HIGHER THAN 45°F ARE TYPICALLY REQUIRED. APPLICATION SHOULD GENERALLY BE HEAVIEST AT EDGES OF SEEDBED AREAS AND AT CRESTS OF RIDGES AND BANKS TO PREVENT LOSS BY WIND. THE REMAINDER OF THE AREA SHOULD HAVE BINDER APPLIED UNIFORMLY. BINDERS MAY BE APPLIED AFTER MULCH IS SPREAD OR SPRAYED INTO THE MULCH AS IT IS BEING BLOWN ONTO THE SOIL. APPLYING STRAW AND BINDER TOGETHER IS GENERALLY MORE EFFECTIVE.

SYNTHETIC BINDERS, OR CHEMICAL BINDERS, MAY BE USED AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH PROVIDED SUFFICIENT DOCUMENTATION IS PROVIDED TO SHOW THEY ARE NON-TOXIC TO NATIVE PLANT AND ANIMAL SPECIES.

MULCH ON SLOPES OF 8X OR STEEPER SHOULD BE HELD IN PLACE WITH NETTING. LIGHTWEIGHT PLASTIC, FIBER, OR PAPER NETS MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

SHREDDED PAPER HYDROMULCH SHOULD NOT BE USED ON SLOPES STEEPER THAN 5X. WOOD FIBER HYDROMULCH MAY BE APPLIED ON STEEPER SLOPES PROVIDED A TACKIFIER IS USED. THE APPLICATION RATE FOR ANY HYDROMULCH SHOULD BE 2,000 LB/ACRE AT A MINIMUM.

TABLE 11.6				
MULCH APPLICATION RATES				
MULCH TYPE	APPLICATION RATE (MIN)			NOTES
	PER ACRE	PER 1,000 SQ. FT.	PER 1,000 SQ. YD.	
STRAW	3 TONS	140 LB.	1,240 LB.	EITHER WHEAT OR OAT STRAW, FREE OF WEEDS, NOT CHOPPED OR FINELY BROKEN
HAY	3 TONS	140 LB.	1,240 LB.	TIMOTHY, MIXED CLOVER AND TIMOTHY OR OTHER NATIVE FORAGE GRASSES
WOOD CHIPS	4-6 TONS	185-275 LB.	1,650-2,500 LB.	MAY PREVENT GERMINATION OF GRASSES AND LEGUMES
HYDROMULCH	1 TON	47 LB.	415 LB.	SEE LIMITATIONS ABOVE

SEEDING MIXTURES

- A. LAWN SEEDING MIXTURE
15 % PERENNIAL RYEGRASS (BLEND OF 3 IMPROVED HYBRIDS)
25 % FINE LEAF OR CREEPING FESCUE (BLEND OF 3 IMPROVED HYBRIDS)
60 % KENTUCKY BLUEGRASS (BLEND OF 3 IMPROVED HYBRIDS)
SEEDING RATE: 5 LBS/1,000 S.F.
SEEDING DATES: AUGUST 15 – OCTOBER 1 AND APRIL 15 – JUNE 15, UNLESS OTHERWISE APPROVED BY OWNER.
- B. SLOPE SEEDING MIXTURE (3:1 SLOPES OR GREATER)
CREEPING RED FESCUE (FESTUCA RUBRA) (42 %)
EXPRESS PERENNIAL RYEGRASS (LOLIUM PERENNE) (34 %)
BIRDFOOT TREFOIL (LOTUS CORNICULATUS VAR. ARVENSIS) (8 %)
ALSKIE CLOVER (TRIFOLIUM HYBRIDUM) (8 %)
RED TOP (AGROSTIS GIGANTEA) (8 %)
LEGUMINOUS SEED TO BE INOCULATED
PURE LIVE SEED: 96-98 %
APPLICATION RATE: 3 LBS/1000 SF.
FERTILIZER TYPE: 10-20-20
FERTILIZER RATE OF APPLICATION: 400 LBS/ACRE
LIMING RATE: 500 LBS/ACRE (PULVERIZED AGRI. LIMESTONE)
MULCH TYPE: WOOD CELLULOSE FIBER
MULCH RATE: 1400 LBS/ACRE
ANCHOR MATERIAL: EC3000 COPOLYMER TACKIFIER
ANCHORING METHOD: SLURRY, MIX AND SPRAY
ANCHORING RATE OF APPLICATION: 3 LBS/ACRE
SEEDING SEASON DATES: MARCH 1-MAY 15 AND SEPT. 1-OCTOBER 15
- C. TEMPORARY SEEDING MIXTURE TYPE 1 – TOPSOIL STOCKPILES
ANNUAL RYEGRASS (50 %)
PERENNIAL RYEGRASS (50 %)
% PURE LIVE SEED: 95 %
APPLICATION RATE: 4LBS./MSF
FERTILIZER TYPE: 5-5-5
FERTILIZER APPLICATION RATE: 1000 LBS/ ACRE
LIMING RATE: 1 TON/ ACRE
MULCH TYPE: STRAW
MULCH RATE: 3 TONS/ACRE

SEQUENCE OF CONSTRUCTION

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE OF ACTIVITIES. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO ONLY THOSE AREAS DESCRIBED IN EACH STAGE.

IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL CEASE OPERATIONS AND IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION BEFORE CONTINUING OPERATIONS.

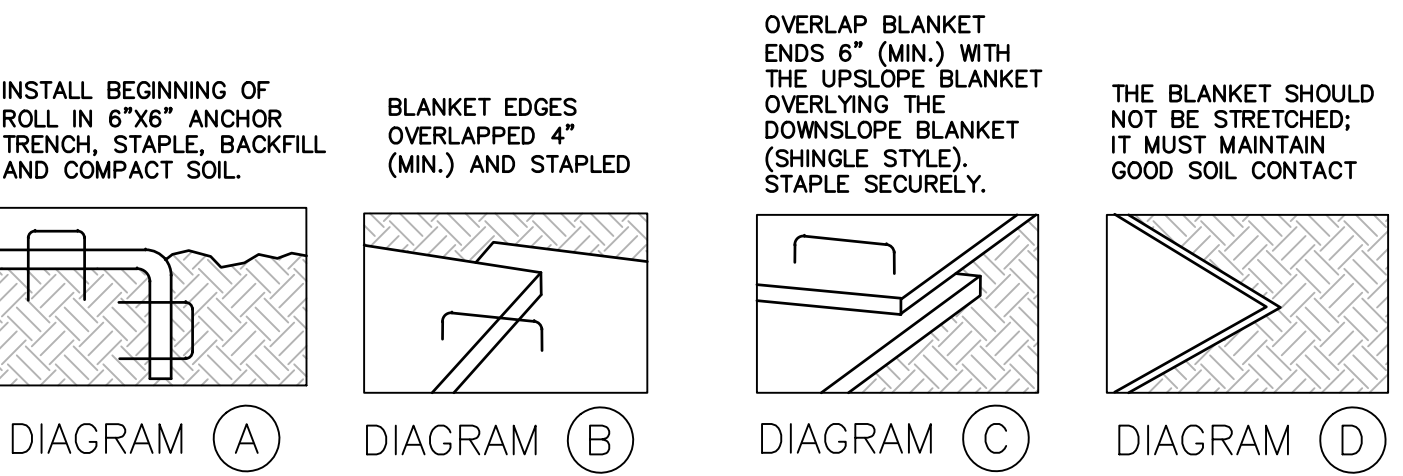
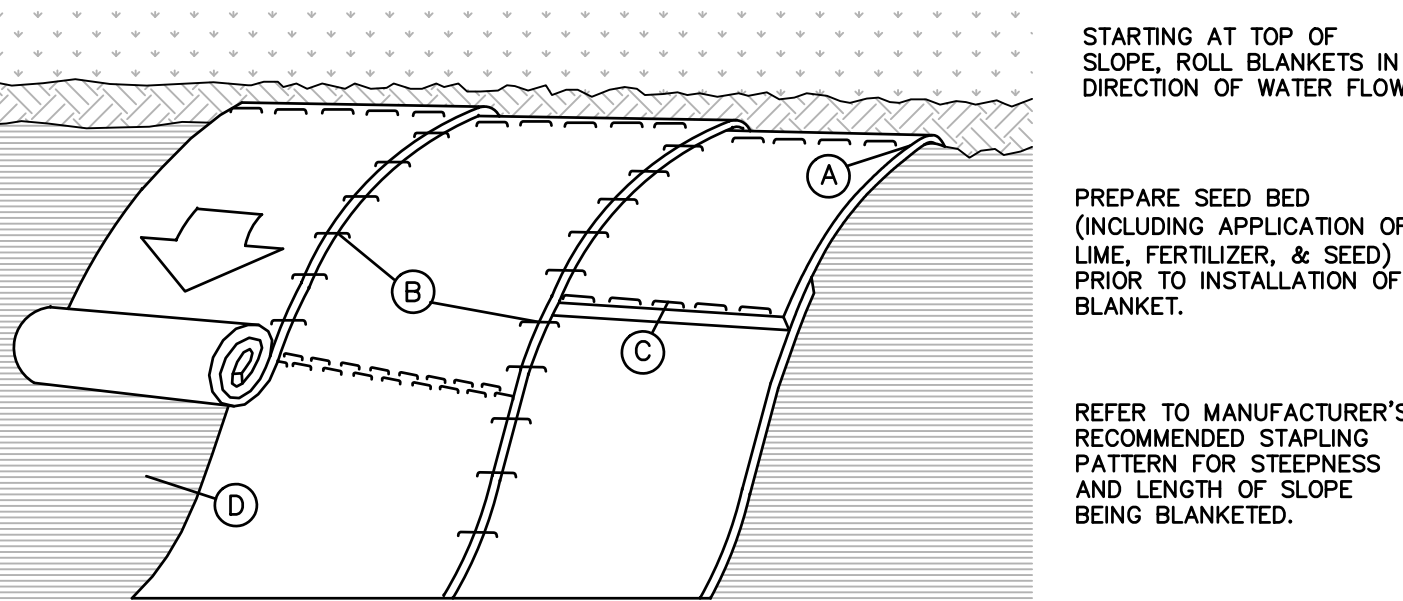
NOTE: THE CONTRACTOR WILL BE RESPONSIBLE TO ENSURE FOR ANY SITE THAT EXPORT/IMPORT FILL MATERIAL OR TOPSOIL FROM AN HAS AN APPROVED EROSION AND SEDIMENT CONTROL PLAN THAT MEETS THE CONDITIONS OF CHAPTER 102 AND/OR ANY OTHER STATE AND FEDERAL REGULATIONS.

1. AT LEAST 7 DAYS PRIOR TO ANY EARTH DISTURBANCE ACTIVITIES SHALL COMMENCE, THE OWNER AND/OR OPERATOR SHALL INVITE ALL LANDOWNERS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND A REPRESENTATIVE OF THE CUMBERLAND COUNTY CONSERVATION DISTRICT (CCCD) FOR AN ON-SITE MEETING.
2. AT LEAST 3 DAYS BEFORE STARTING ANY EARTH MOVING ACTIVITIES SHALL COMMENCE, THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 SHALL BE NOTIFIED SO THEY MAY CONTACT THE APPROPRIATE INDIVIDUALS TO LOCATE ANY EXISTING UNDERGROUND UTILITIES.
3. CLEARLY MARK ALL LIMITS OF DISTURBANCE PRIOR TO COMMENCING ANY EARTHMOVING ACTIVITIES.
4. THE SITE CONTRACTOR SHALL INSTALL THE ROCK CONSTRUCTION ENTRANCE, TIRE WASH RACK AND COMPOST FILTER SOCK DOWNSLOPE OF WASH RACK DISCHARGE POINT. INSTALL PERIMETER COMPOST FILTER SOCKS.
5. INSTALL INLET PROTECTION AT EXISTING INLETS.
6. BEGIN DEMOLITION OF EXISTING BUILDING, FOUNDATION, CANOPIES, SUBBASE, SIDEWALKS, SIGNAGE, DRIVE THRU KIOSKS, ETC. STRIP TOPSOIL FROM THE LIMITS OF DISTURBANCE AND STOCKPILE WHERE INDICATED ON THE PLAN. SEED AND MULCH IMMEDIATELY. COMMENCE BULK MOVING EXCAVATION ACTIVITIES NECESSARY TO BRING THE SITE TO GRADE. ALL 3:1 OR STEEPER SLOPES ACHIEVING FINAL GRADE SHALL BE COVERED WITH 6" OF TOPSOIL, LINED WITH 575 MATTING, SEEDED AND MULCH IMMEDIATELY. **NOTE: THE CONTRACTOR WILL BE RESPONSIBLE TO ENSURE FOR ANY EXPORT/IMPORT FILL MATERIAL OR TOPSOIL FROM ANOTHER SITE HAS AN APPROVED EROSION AND SEDIMENT CONTROL PLAN THAT MEETS THE CONDITIONS OF CHAPTER 102 AND/OR ANY OTHER STATE AND FEDERAL REGULATIONS. **
7. BEGIN EXCAVATION/CONSTRUCTION OF THE BUILDING FOUNDATION ONCE THE SITE HAS BEEN BROUGHT TO SUBGRADE ELEVATIONS.
8. CONSTRUCT SUBSURFACE INFILTRATION BASIN PER MANUFACTURER SPECIFICATIONS AND DETAILS. *IF BEDROCK IS ENCOUNTERED DURING EXCAVATION OF THE SUBSURFACE BASIN, NOTIFY THE ENGINEER OF RECORD AND ECR. REFER TO THE SUBSURFACE BASIN CONSTRUCTION DETAILS ON SHEET QS-1. ECR REPRESENTATIVE SHALL CONDUCT A FIELD INFILTRATION TEST. *INSTALLATION OF SUBSURFACE BASIN SHALL NOT BEGIN UNTIL THE FIELD INFILTRATION TESTING HAS BEEN COMPLETED AND VERIFIED BY THE GEOTECHNICAL ENGINEER. BEGIN INSTALLATION OF THE SUBSURFACE BASIN PER THE PROVIDED DETAILS. INSTALL 24" PERFORATED HDPE PIPES AND OUTLET STRUCTURE QS-1.7 PER ADS SPECIFICATIONS AND PLACE REMAINING OVERLAP ELEVATIONS. BACKFILL AND MULCH IMMEDIATELY. **NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL SEDIMENT LADEN RUNOFF IS DIRECTED TO INLET PROTECTION.
9. INSTALL ALL ON-SITE UTILITIES. LIMIT THE LENGTH OF TRENCH EXCAVATION TO A DISTANCE THAT CAN BE BACKFILLED THE SAME DAY. PLACE SPOIL MATERIAL ON UPSLOPE SIDE OF THE TRENCH AND ANY SEDIMENT LADEN RUN-OFF ENTERING THE TRENCH SHALL BE DE-WATERED USING A PUMP WATER FILTER BAG TO A STABILIZED VEGETATED AREA.
10. INSTALL STORM DRAIN PIPING AND STRUCTURES INCLUDING INFILTRATION TRENCH AND ASSOCIATED PIPING. INSTALL COMPOST FILTER SOCK IMMEDIATELY UPSLOPE OF INFILTRATION TRENCH. LIMIT THE LENGTH OF TRENCH EXCAVATION TO A DISTANCE THAT CAN BE BACKFILLED THE SAME DAY. PLACE SPOIL MATERIAL ON UPSLOPE SIDE OF THE TRENCH AND ANY SEDIMENT LADEN RUN-OFF ENTERING THE TRENCH SHALL BE DE-WATERED USING A PUMP WATER FILTER BAG TO A STABILIZED VEGETATED AREA. PLACE INLET PROTECTION ON NEWLY INSTALLED INLETS. CONTRACTOR SHALL ENSURE THAT ALL SEDIMENT LADEN RUNOFF IS DIRECTED TO INLET PROTECTION.
11. UPON COMPLETION OF THE UNDERGROUND UTILITIES, INSTALL CURBING AND PLACE THE STONE SUBBASE AND BINDER COURSE.
12. INSTALL CONCRETE DUMPSER PAD AND SIDEWALK. FINISH REMAINING EARTHMOVING ACTIVITIES, COVER AREAS NOT TO BE COVERED WITH AN IMPERVIOUS SURFACE WITH 6" OF TOPSOIL, SEED WITH THE APPROPRIATE MIXTURE, AND MULCH.
13. PLACE FINAL WEARING COURSE.
14. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF THOSE AREAS HAS BEEN ACHIEVED, THE OWNER AND/OR OPERATOR SHALL CONTACT CCCD FOR AN INSPECTION PRIOR TO REMOVAL OF REMAINING TEMPORARY BMPs.
15. PLACE TOPSOIL IN LAWN AREAS. SEED AND MULCH AS REQUIRED AND INSTALL LANDSCAPING.
16. REMOVE REMAINING BMPs AND STABILIZE ANY DISTURBED AREAS.

MAINTENANCE PROGRAM

THE FOLLOWING INSPECTION AND MAINTENANCE PRACTICES WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS AND STABILIZATION MEASURES.

1. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED ONCE EVERY SEVEN DAYS AND AFTER EACH RUNOFF EVENT. A WRITTEN REPORT MUST ALSO BE COMPLETED DOCUMENTING EACH INSPECTION AND ANY REPAIR, REPLACEMENT, OR MAINTENANCE ACTIVITY.
2. ALL TEMPORARY SEDIMENT CONTROLS SHALL BE CLEANED AND REMOVED AT THE END OF CONSTRUCTION FOLLOWING STABILIZATION OF UPLAND AREAS. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING, AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATION OF THOSE INSTALLED WILL BE REQUIRED.
3. PERIMETER BMPs WILL BE INSPECTED FOR DEPTH OF SEDIMENT, DAMAGE, ETC. TO ENSURE THE MEASURE IS IN PROPER WORKING ORDER, AND THAT ANY POSTS/WOOD STAKES ARE SECURELY IN THE GROUND.
4. TEMPORARY AND PERMANENT SEEDING, AND OTHER STABILIZATION MEASURES, WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
5. DISTURBED AREAS AND MATERIALS STORAGE AREAS WILL BE INSPECTED FOR EVIDENCE OF OR POTENTIAL FOR POLLUTANTS ENTERING THE STORMWATER.
6. ANY MUD TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AFTER EVERY WORKDAY.
7. UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE OPERATOR SHALL ASSURE THAT THE BMPs ARE IMPLEMENTED, OPERATED, AND MAINTAINED PROPERLY AND COMPLETELY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL BEST MANAGEMENT PRACTICE FACILITIES. THE OPERATOR WILL MAINTAIN AND MAKE AVAILABLE TO THE TOWNSHIP, COMPLETE WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL MAINTENANCE WORK INCLUDING CLEANING, REPAIR, REPLACEMENT, RE-GRADING, AND RE-STABILIZATION SHALL BE PERFORMED IMMEDIATELY.
8. ANY DEBRIS ACCUMULATED AT SILT BARRIERS WILL BE REMOVED AND PROPERLY DISPOSED IN A RESPONSIBLE MANNER. BARRIERS SHALL BE CHECKED AND REALIGNED OR RESET AS REQUIRED. ANY DEBRIS OR SOLID WASTE MATERIAL ACCUMULATED FROM CONSTRUCTION ACTIVITIES SHALL BE REMOVED FROM THE SITE AND DISPOSED IN AN APPROVED LANDFILL. CONSTRUCTION WASTE SHALL NOT BE BURIED ON THE SUBJECT SITE.
9. VEGETATIVE STABILIZATION WILL BE PERIODICALLY INSPECTED FOR PROPER GROWTH. ANY AREAS NOT RESPONDING WILL BE PROMPTLY RE-SEEDDED. AREAS THAT SHOW SIGNS OF EROSION PRIOR TO STABILIZATION SHALL BE GRADED, RE-SEEDDED, AND RE-MULCHED AS SOON AS POSSIBLE.
10. MISCELLANEOUS ADJUSTMENTS AND CORRECTIONS SHALL BE MADE TO ANY EROSION CONTROL STRUCTURE AS DEMED NECESSARY BY THE ENGINEER OR MUNICIPAL OFFICIAL IN ORDER TO CORRECT UNFORESEEN PROBLEMS CAUSED BY STORMS PRIOR TO STABILIZATION.
11. COMPOST FILTER SOCKS: SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH HALF THE EFFECTIVE HEIGHT OF THE COMPOST SOCK.
12. ROCK CONSTRUCTION ENTRANCE: ROCK CONSTRUCTION ENTRANCES SHALL BE MAINTAINED TO THE SPECIFIED DIMENSION BY ADDING ROCK WHEN NECESSARY AT THE END OF EACH WORKDAY. A STOCKPILE OR ROCK SHOULD BE MAINTAINED ON THE SITE FOR THIS PURPOSE.
13. INLET PROTECTION BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON-SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS USED BAGS ACCORDING TO THE PLAN NOTES.
14. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BMPs TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
15. SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS, OR DRAINAGE SWALES, AND IMMEDIATELY STABILIZED OR PLACED IN TOPSOIL STOCKPILES.
16. A COPY OF THE APPROVED EROSION AND SEDIMENT POLLUTION CONTROL PLAN(S) WILL BE AVAILABLE ON-SITE AT ALL TIMES.
17. WHEN ANY EROSION CONTROL MEASURES ARE INSTALLED, THE MAINTENANCE AND INSPECTION PROCEDURES ABOVE SHALL BEGIN. THE CONTRACTOR SHOULD BE AWARE THAT THE INSPECTION FORMS BECOME AN INTEGRAL PART OF THE ESOP AND SHALL BE MADE READILY AVAILABLE TO THE GOVERNMENT INSPECTION OFFICIALS, THE PROJECT OWNER'S ENGINEER, AND THE PROJECT OWNER FOR REVIEW UPON REQUEST DURING VISITS TO THE PROJECT SITE.
18. TYPICAL CONSTRUCTION WASTES ARE ANTICIPATED (CONCRETE, ASPHALT, REBAR, LUMBER, BUILDING MATERIALS, ETC.). THE CONTRACTOR SHALL DISPOSE OF WASTE MATERIAL OBTAINED FROM DEMOLITION ACTIVITIES IN A LEGAL MANNER, AND SHALL RECYCLE AS MUCH OF THE WASTE MATERIAL AS POSSIBLE. IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE CONTRACT SPECIFICATIONS, ALL BUILDING MATERIALS AND WASTE MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENTS SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ. 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS, WASTES, OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.



SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.

PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.

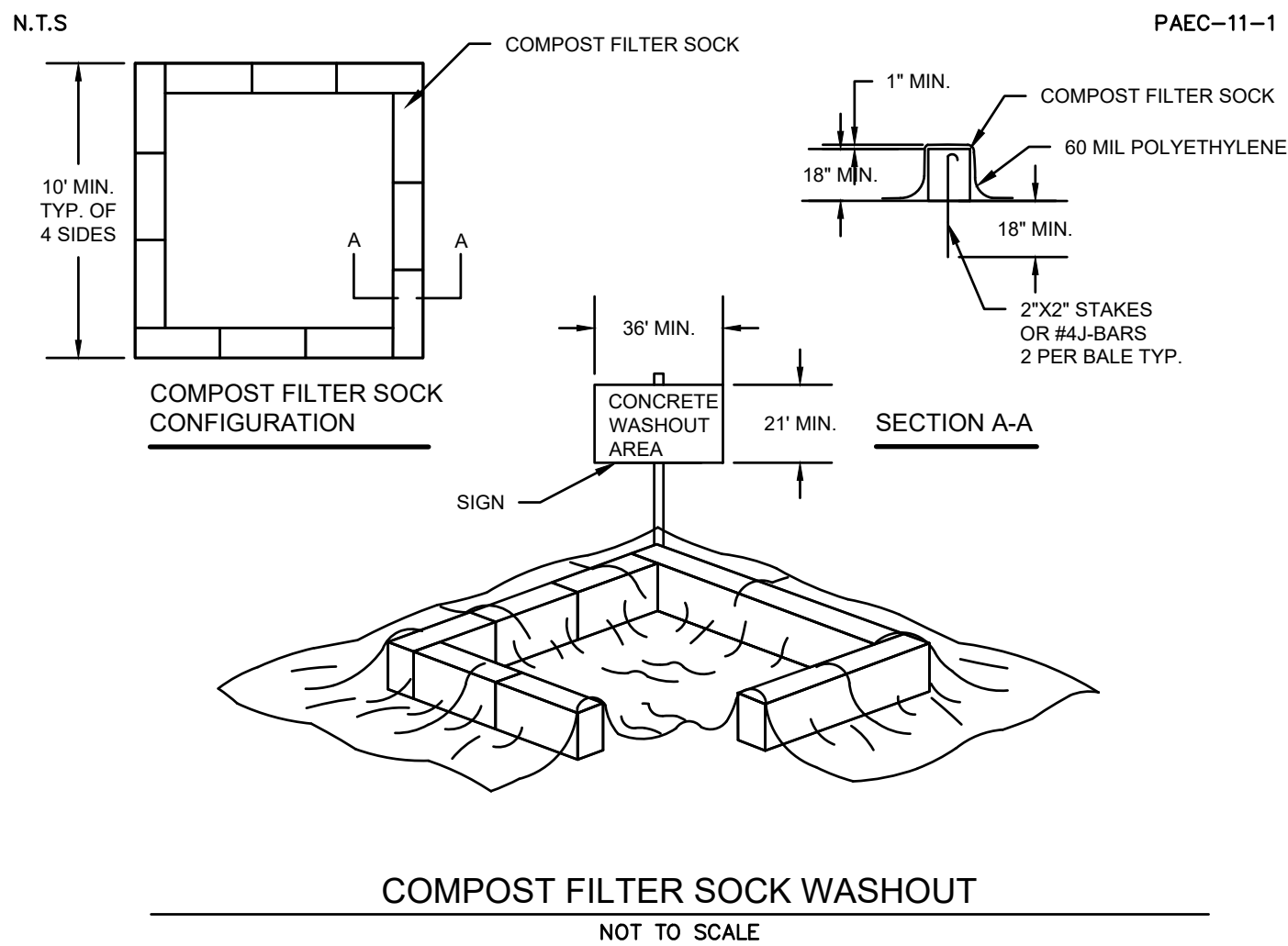
SLOPE SURFACE SHALL BE FREE OF ROCKS, CLOUDS, STICKS, AND GRASS.

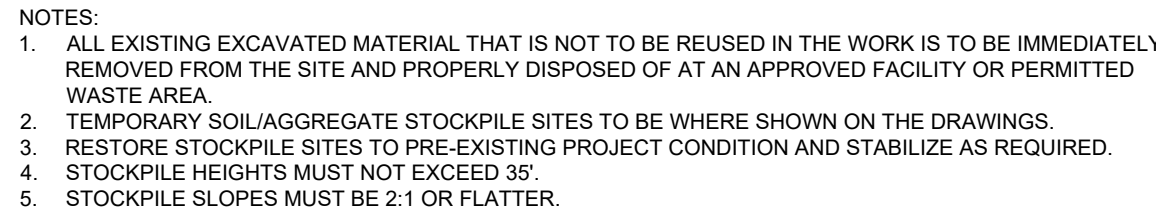
BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY WASTE MATERIAL LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DON NOT STRETCH BLANKET.

THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

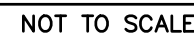
EROSION CONTROL BLANKET INSTALLATION DETAIL





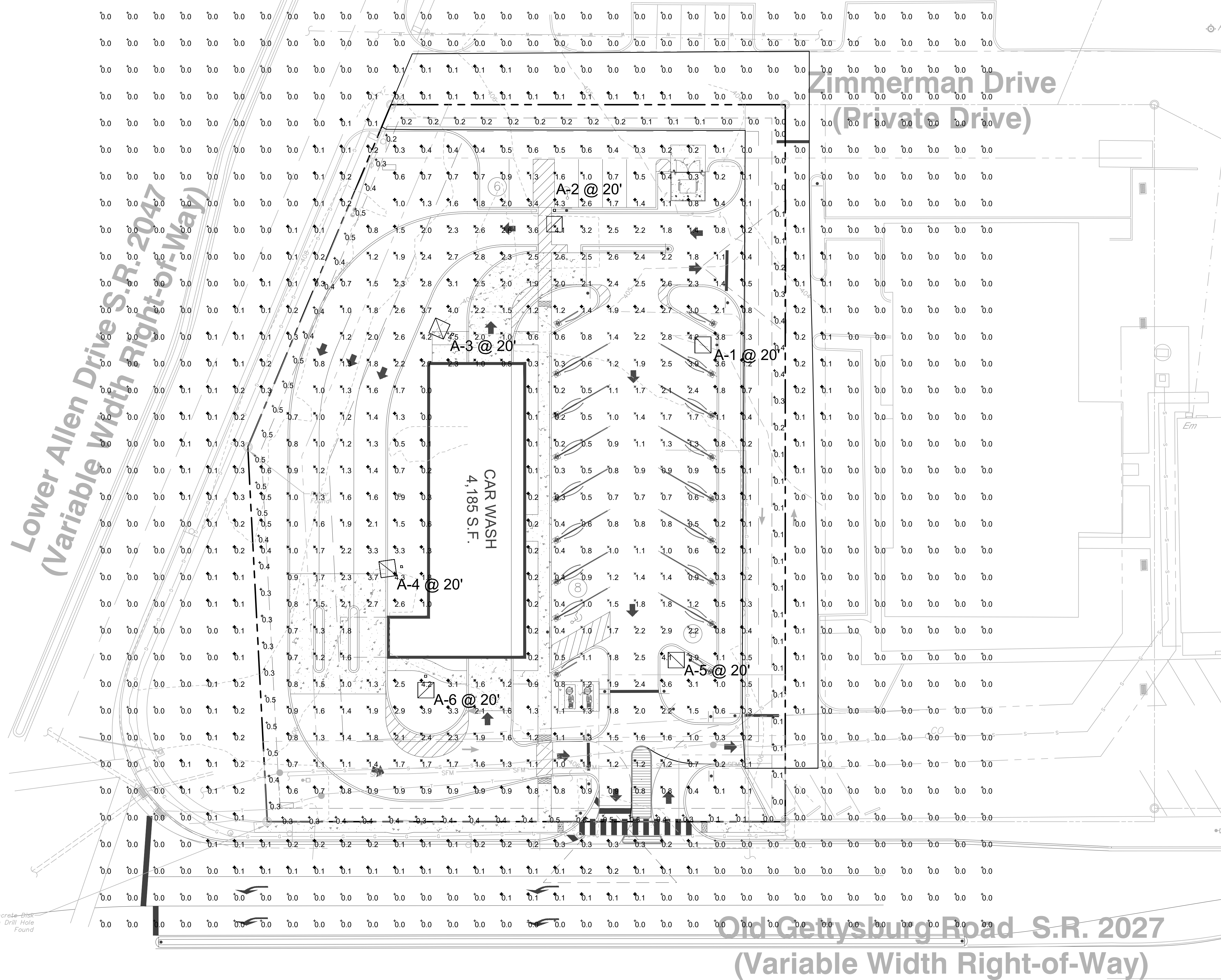
NOT TO SCALE

Organic Matter Content	80% - 100% (dry weight basis)
Organic Portion	Fibrous and elongated
pH	5.5 - 8.0
Moisture Content	35% - 55%
Particle Size	98% pass through 1" screen
Soluble Salt Concentration	5.0 dS/m (mmhos/cm) Maximum



01/10/2021, C:\CONSTRUCT\ENGINEER, CUMBERLANDCOUNTY\HYLAND ENGINEERING INC.\CLOUDY CAMP HILL\PROJECT FILES\LAND DEVELOPMENT\LPXX_0001.DWG\LP-1

Concrete Block
With Drill Hole
Found



LIGHTING PLAN LEGEND



PROPERTY LINE
PROPOSED LIGHT

Luminaire Locations							
		Location					
No.	Label	X	Y	Z	MH	Tilt	Orientation
1	A	129.00	117.00	20.00	20.00	0.00	270.00
2	A	66.00	173.00	20.00	20.00	0.00	180.00
3	A	30.00	121.00	20.00	20.00	0.00	293.59
4	A	11.00	34.00	20.00	20.00	0.00	261.87
5	A	119.00	-1.00	20.00	20.00	0.00	270.00
6	A	20.00	-7.00	20.00	20.00	0.00	180.00

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	
DRIVEWAY	X	1.7 fc	4.2 fc	0.5 fc	8.4:1	3.4:1	
LARGE PARKING LOT	X	1.2 fc	4.2 fc	0.2 fc	21.0:1	6.0:1	
PROPERTY LINE	+	0.3 fc	0.5 fc	0.0 fc	N/A	N/A	
SITE CALCULATIONS	+	0.5 fc	4.5 fc	0.0 fc	N/A	N/A	
SMALL PARKING AREA	X	0.8 fc	1.6 fc	0.3 fc	5.3:1	2.7:1	

Schedule							
Symbol	Label	QTY	Catalog Number	Description	Number Lamps	Lumens per Lamp	LLF Wattage
☐	A	6	ATB0 P205 R4 4K/5K HSS	Autobahn Small P205 Package Roadway Type IV 4000K/5000K House side shield	1	11421	0.9 102

