



#### LOCATION MAP

1" = 400'

#### ACT 287 LIST OF UTILITIES

THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ACT 287 AS AMENDED BY ACT 307 OF 1995 FOR NOTIFICATION OF UTILITIES BEFORE EXCAVATION IN CONTRACT AREA. THE UNDERGROUND UTILITIES LOCATION CALL NUMBER IS 1-800-342-3776. SERIAL NUMBER: 31762511 BY TERRAVIZ GEOGRAPHICAL, INC.

DATE OF EXCAVATION: 10/10/2022

DESIGN CONTACT INFORMATION

COMPANY: PENNSYLVANIA AMERICAN WATER  
ADDRESS: 802 WISLEY DR  
CITY: HARRISBURG, PA 17055  
CONTACT: JEFF HORTON  
EMAIL: JEFF.HORTON@PAWATER.COM  
COMPANY: VERIZON PENNSYLVANIA LLC  
ADDRESS: 3025 HAY ST  
CITY: HARRISBURG, PA 15221  
CONTACT: DEBORAH BURUM  
EMAIL: DEBORAH.BURUM@VERIZON.COM  
COMPANY: LOWER ALLEN TOWNSHIP AUTHORITY  
ADDRESS: 2000 CAMP HILL TOWNSHIP  
CITY: NEW CUMBERLAND, PA 17027  
CONTACT: MIKE KAUFMAN  
EMAIL: KAUFMAN@LATWP.ORG  
COMPANY: LOWER ALLEN TOWNSHIP  
ADDRESS: 2000 CAMP HILL TOWNSHIP  
CITY: CAMP HILL, PA 17025  
CONTACT: BRUCE THOMPSON  
EMAIL: BTHOMPSON@LATWP.ORG

COMPANY: FIRST ENERGY PENNLEC  
ADDRESS: 215 S MARKET DR 440B  
CONTACT: CARA WARREN  
EMAIL: CARA.WARREN@FIRSTENERGYCORP.COM  
COMPANY: PPA ELECTRIC UTILITIES CORPORATION  
ADDRESS: 404 SQUICKHANNA TRAIL  
CITY: HARRISBURG, PA 17109  
CONTACT: DOUG HAUPP  
EMAIL: DOHAUP@PPAWEB.COM  
COMPANY: COMCAST  
ADDRESS: 1000 PENNSYLVANIA AVENUE  
CITY: HARRISBURG, PA 17109  
CONTACT: MICHAEL SWIEGARD  
EMAIL: MICHAEL.SWIEGARD@CABLE.COMCAST.COM  
COMPANY: UGI UTILITIES INC  
ADDRESS: 1301 APM  
CITY: MIDDLETON, PA 17057  
CONTACT: STEPHEN BATMAN  
EMAIL: SBATMAN@UGI.COM



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# PRELIMINARY / FINAL LAND DEVELOPMENT PLAN CLOUD10 CAR WASH

3556 GETTYSBURG ROAD (S.R. 2027)

CAMP HILL, PA 17011

LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

#### PREPARED FOR:

1852 CAMP HILL, LLC  
28 THORNDAL CIRCLE, 3RD FLOOR  
DARIEN, CT 06820

#### PREPARED BY:



212 South Front Street  
Wormleysburg, PA 17043  
adavis@hylandeng.com

#### DESIGN ENGINEER STORMWATER MANAGEMENT APPROVAL STATEMENT

*Mark J. Davis* ON THIS DATE, September 12, 2021, HAVE  
REVIEWED AND HEREBY CERTIFY THAT THE DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE LOWER  
ALLEN TOWNSHIP ACT 167 STORMWATER MANAGEMENT ORDINANCE.

#### STATEMENT OF ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREIN IS  
TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE UPPER MORELAND TOWNSHIP SUBDIVISION AND LAND  
DEVELOPMENT ORDINANCE. THE ERROR OF CLOSURE NO GREATER THAN ONE FOOT IN 10,000 FEET.

Oct. 20, 2021

*Mark J. Davis*  
SURVEYOR - MATTHEW DAVIS, PLS  
212 S FRONT STREET  
WORMLEYSBURG, PA 17043



#### OWNER STORMWATER MANAGEMENT PERMANENT FIXTURES STATEMENT

*Brendon J. Davis* ON THIS DATE, September 9, 2021,  
ACKNOWLEDGES THAT SWM AND CONVEYANCE FACILITIES ARE PERMANENT FIXTURES AND MAY NOT BE MODIFIED, REMOVED,  
FILLED, LANDSCAPED, OR OTHERWISE ALTERED WITHOUT WRITTEN APPROVAL OF LOWER ALLEN TOWNSHIP.

#### LOWER ALLEN TOWNSHIP BOARD OF COMMISSIONERS

APPROVED BY THE BOARD OF COMMISSIONERS, LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA.

APPROVED THIS 20<sup>th</sup> DAY OF JANUARY 2022

CONDITIONS OF APPROVAL COMPLETED THIS 19<sup>th</sup> DAY OF JUNE 2022

*Jennifer M. Davis* PRESIDENT *Rebecca L. Davis* SECRETARY

#### STATEMENT OF ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE LAND DEVELOPMENT PLAN AND INFORMATION SHOWN  
AND DESCRIBED HEREIN IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE UPPER MORELAND TOWNSHIP  
SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

Sept. 12, 2021

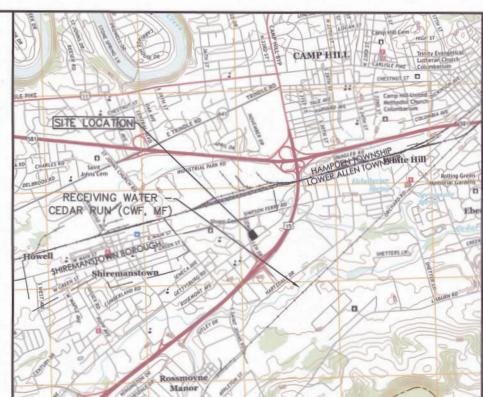
*Adam J. Davis, PE*  
ENGINEER - ADAM J. DAVIS, PE  
212 S FRONT STREET  
WORMLEYSBURG, PA 17043



#### WAIVERS

THE FOLLOWING WAIVERS FROM THE LOWER ALLEN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE HAVE BEEN APPLIED FOR:

- SECTION 160-30A - PRELIMINARY PLAN APPLICATION
- SECTION 160-50E - PLANTING ISLANDS SHALL BE DESIGNED TO COLLECT STORMWATER RUNOFF



#### VICINITY MAP

SCALE: 1" = 2,000'

#### STATEMENT OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN, AND OFFER OF DEDICATION

STATE OF *Pennsylvania* COUNTY OF *Lower Allen*

On this, the *9th* day of *September*, 2021, before me, the undersigned officer, personally appeared *Brendon J. Davis*, known to me (or satisfactorily proved) to be the person(s) whose names is/are subscribed to the within instrument, and acknowledged that *Cloud10 Car Wash* executed the same for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

*Brendon J. Davis*

Signature

*CEO & Manager*

Title

My commission expires on *September 30, 2027*

NOTARY

#### LOWER ALLEN TOWNSHIP PLANNING COMMISSION REVIEW STATEMENT

At a meeting on *2021* the LOWER ALLEN TOWNSHIP PLANNING COMMISSION REVIEW THIS PLAN.

TOWNSHIP OF LOWER ALLEN  
PLANNING COMMISSION

ATTEST: LOWER ALLEN TOWNSHIP SECRETARY

CHARMAN

#### LOWER ALLEN TOWNSHIP ENGINEER REVIEW STATEMENT

REVIEWED ON *2021* BY TOWNSHIP ENGINEER.

TOWNSHIP ENGINEER

#### CUMBERLAND COUNTY PLANNING DEPARTMENT REVIEW STATEMENT

REVIEWED THIS *31<sup>st</sup>* DAY OF *October*, 2021, BY THE CUMBERLAND COUNTY  
PLANNING DEPARTMENT.

*Kirk Stoen (A.M.R.)*

DIRECTOR OF PLANNING

#### RECORDER OF DEEDS CERTIFICATE

RECORDED IN THE CUMBERLAND COUNTY COURTHOUSE

RECORDED ON THIS *25<sup>th</sup>* DAY OF *July*, 2021

INSTRUMENT NO. *2021-1631*

#### DEVELOPER/APPLICANT:

1852 CAMP HILL, LLC  
28 THORNDAL CIRCLE, 3RD FLOOR  
DARIEN, CT 06820  
(203) 534-6553  
brendon@cloud10carwash.com

#### OWNER:

SHOVER INVESTMENT GROUP 3, LLC  
1371 PATRICK HENRY DRIVE  
PHOENIXVILLE, PA 19460  
(215) 656-0554

#### DATES

ISSUE DATE: OCTOBER 14, 2022  
REVISIONS: DECEMBER 8, 2022  
JANUARY 3, 2023

#### PLAN PURPOSE:

THE PURPOSE OF THIS PLAN IS TO  
CONSTRUCT A 4.185 SF CAR WASH AND  
ASSOCIATED SITE IMPROVEMENTS

## GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH MUNICIPAL STANDARDS AND SPECIFICATIONS, DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, 2010 ADA STANDARDS, AND STATE BUILDING CODE IN THE ABOVE REFERENCED INCREASING HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.

2. REFER TO OTHER PLANS BY OTHER DISCIPLINES, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER AND/OR ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO BIDDING.

3. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.

4. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.

5. THE APPLICANT SHALL PROVIDE AN AS-BUILT PLAN OF ALL STORMWATER BMP'S INCLUDED IN THE APPROVED STORMWATER MANAGEMENT SITE PLAN. THE AS-BUILT PLANS AND AN EXPLANATION OF ANY DISCREPANCIES WITH THE CONSTRUCTION PLANS SHALL BE SUBMITTED TO THE MUNICIPALITY. THE AS-BUILT SUBMISSION SHALL INCLUDE A CERTIFICATION OF COMPLETION SIGNED BY A QUALIFIED PROFESSIONAL VERIFYING THAT ALL PERMANENT STORMWATER BMP'S HAVE BEEN CONSTRUCTED ACCORDING TO THE APPROVED PLANS AND SPECIFICATIONS. THE LATITUDE AND LONGITUDE COORDINATES FOR ALL PERMANENT STORMWATER BMP'S MUST ALSO BE SUBMITTED, AT THE CENTRAL LOCATION OF THE BMP'S. IF ANY LICENSED QUALIFIED PROFESSIONALS CONTRIBUTED TO THE CONSTRUCTION PLANS, THEN A LICENSED QUALIFIED PROFESSIONAL MUST SIGN THE COMPLETION CERTIFICATE.

6. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ENGINEER HAS NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.

7. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.

8. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL OR COUNTY STATE RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS SHOWN ON THE CONSTRUCTION DRAWINGS ARE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION AND ELEVATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES PRIOR TO DEMOLITION OR CONSTRUCTION. THE CONTRACTOR SHALL CONTACT PA PENNSYLVANIA 811 72 HOURS BEFORE COMMENCEMENT OF WORK AT (800) 242-1776 OR AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. THE CONTRACTOR SHALL EMPLOY THE USE OF A UTILITY LOCATING COMPANY TO PROVIDE SUBSURFACE UTILITY ENGINEERING CONSISTING OF DESIGNATING UTILITIES AND STORM PIPING ON PRIVATE PROPERTY WITHIN THE CONTRACT LIMIT AND CONSISTING OF DESIGNATING AND LOCATING WHERE PROPOSED UTILITIES AND STORM PIPING CROSS EXISTING UTILITIES AND STORM PIPING WITHIN THE CONTRACT LIMITS.

9. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.

10. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS OR PLAN SET ELECTRONIC POSTINGS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS OR COMPLETE PLAN SET ELECTRONIC POSTINGS FOR USE IN BIDDING AND CONSTRUCTION.

11. ALL NOTES AND DIMENSIONS DESIGNATED TYPICAL APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.

12. CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.

13. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.

14. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNING AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT AND OBTAIN FROM COUNTY AND MUNICIPAL SOURCES, ALL CONSTRUCTION PERMITS, INCLUDING ANY STATE DOT PERMITS, SEWER AND WATER CONNECTION PERMITS, AND ROADWAY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.

15. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE SEDIMENT AND EROSION CONTROL PLAN.

16. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, LANDINGS, DECKS, RAMPS, AND STAIRS.

17. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.

18. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.

19. A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO.428), AS AMENDED, BEFORE ANY IMPROVEMENTS ARE INITIATED WITHIN A STATE HIGHWAY, OR A STREET, ACCESS DRIVE, OR DRIVEWAY INTERSECTION TO A STATE HIGHWAY IS PERMITTED.

20. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TEMPORARY WALKWAYS, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS OR AS REQUIRED BY THE OWNER. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS FOR US AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.

21. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.

22. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.

23. THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.

24. PAVEMENT MARKING KEY:

- 4" SYL 4" SOLID YELLOW DOUBLE LINE
- 4" SYL 4" SOLID YELLOW LINE
- 4" SWL 4" SOLID WHITE LINE
- 12" SWB 12" SOLID WHITE STOP BAR
- 4" BWL 4" BROKEN WHITE LINE 10' STRIPE 30" SPACE

25. PARKING SPACES SHALL BE STRIPED WITH 4" SWL; HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2' ON CENTER. HATCHING, SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.

26. ALL PARKING SPACES AND HATCHED AREAS SHALL HAVE TWO COATS OF PAINTING MARKINGS APPLIED TO STRIPING.

27. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, SWALE, PAVEMENT MARKINGS, OR SIGNAGE DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER, AND TO THE SATISFACTION OF THE OWNER AND MUNICIPALITY.

28. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION.

29. THE PROJECT PARCEL IS NOT LOCATED PARTLY OR WHOLLY WITHIN A FEMA DESIGNATED FLOOD HAZARD AREA.

30. THERE ARE NO WETLANDS LOCATED ON THE SITE.

31. ALL ADA DESIGNATED PARKING STALLS, ACCESS AISLES AND PEDESTRIAN WALKWAYS SHALL CONFORM TO THE CURRENT VERSION OF THE AMERICANS WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN AND ANSI STANDARDS AND AS MAY BE SUPERCEDED BY THE STATE BUILDING CODE.

32. CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF NFPA 1 UNIFORM FIRE CODE.

33. SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN AND/OR DEMOLITION PLAN SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.

34. ALL BUILDINGS, INCLUDING FOUNDATION WALLS AND FOOTINGS AND BASEMENT SLABS INDICATED ON THE DEMOLITION PLAN ARE TO BE REMOVED FROM THE SITE. CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.

35. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL ABATEMENT CONTRACTOR.

36. THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.

37. THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY PROVIDER TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR AT THE MANIFOLD AS REQUIRED BY THE UTILITY PROVIDER, OR AS OTHERWISE NOTED OR SHOWN ON THE CONTRACT DRAWINGS. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. THE CONTRACTOR SHALL PAY ALL UTILITY PROVIDER FEES FOR ABDONIMENTS AND REMOVALS.

38. REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STARS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL. BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.

39. THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED.

40. THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS, AND PROPERTY CORNERS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

41. THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF HIS WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW EROSION AND EROSION CONTROLS AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.

42. IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.

43. NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH OWNER AND THE CIVIL ENGINEER IS PERFORMED. THE CONTRACTOR SHOULD BE AWARE OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS. THE CONTRACTOR SHALL HAVE PA ONCALL MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.

44. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO SEDIMENT AND EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.

45. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR SITE USE IN FINAL LANDSCAPING.

46. THE CONTRACTOR SHALL COMPACT FILL IN LIFT THICKNESS PER THE GEOTECHNICAL REPORT UNDER ALL PARKING, BUILDING, DRIVE, AND STRUCTURE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS REQUIRED BY THE GEOTECHNICAL ENGINEER.

## LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING OVERHEAD ELECTRIC
- EXISTING UTILITY POLE
- EXISTING GAS VALVE
- EXISTING GAS LINE
- EXISTING WATER HYDRANT
- EXISTING WATER VALVE
- EXISTING WATERLINE
- EXISTING SANITARY SEWER LINE
- EXISTING SANITARY MANHOLE
- EXISTING EASEMENT
- EXISTING SETBACK
- EXISTING PROPERTY LINE
- EXISTING PROPERTY CORNER
- EXISTING INLET STRUCTURE
- EXISTING STORM MANHOLE
- EXISTING SIGN
- EXISTING EDGE OF MACADAM
- EXISTING EDGE OF CONCRETE
- EXISTING LIGHT STANDARD
- EXISTING BOLLARD
- EXISTING TREE
- EXISTING STORM PIPE
- EXISTING CURB

## SURVEY NOTES

1. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ARE BASED ON A FIELD SURVEY PERFORMED BY TERRAVIZ GEOSPATIAL INC., COMPLETED IN OCTOBER, 2022.
2. CONTOURS AND ELEVATIONS ARE BASED ON NATIONAL AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
3. BEARINGS ARE BASED ON PENNSYLVANIA STATE PLANE COORDINATES, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
4. UTILITY LOCATIONS ARE BASED ON SURFACE EVIDENCE AND LIMITED PA ONE-CALL MARKINGS EVIDENT AT THE TIME OF THE FIELD SURVEY. PA ONE-CALL SERIAL NO. 20222762511 AND WAS ASSIGNED ON OCTOBER 03, 2022.
5. THE SUBJECT PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN THE 100-YEAR FLOODPLAIN AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWNSHIP OF LOWER ALLEN, MAP NO. 42075C0254E, EFFECTIVE DATE MARCH 16, 2009.

## Lower Allen Drive S.R. 2047 (Variable Width Right-of-Way)

Sanitary Manhole  
Rim = 406.07'  
Inv. In = 401.25'  
Inv. In = 401.16'  
Inv. Out = 400.97'

Traffic Mask

Storm Inlet  
Grate = 404.83'  
Inv In = 400.76'  
Inv In = 400.72'  
Inv In = 400.67'  
Inv Out = 400.53'

Storm Inlet  
Grate = 404.62'  
Inv Out = 400.74'  
18" RCP

Concrete Disk  
With Drill Hole  
Found

Tele. Manhole  
Rim = 406.24'

Existing Sewer Right of Way  
Msc Book 250 Pg 284

Lane Designation

Rebar Found

N/F Sheker Family Limited  
Tax Parcel 13-23-0553-064  
Deed Book 240 Page 525  
Plan Book 31 Page 114 Lot#3A

Existing 20' Access Easement  
Deed Book N-26 Page 476

Approximate U.G. Water Line.

38.0'

1/2 CARTWAY

50.1'

1/2 R.O.W.

80'

20'

Utility Pole

PPL22661

S32586

30.0'

1/2 R.O.W.

80'

20'

Utility Pole

PPL22663

S32582

30.0'

1/2 R.O.W.

80'

20'

Utility Pole

PPL22661

S32586

30.0'

1/2 R.O.W.

80'

20'

Utility Pole

PPL22663

S32582

30.0'

1/2 R.O.W.

80'

20'

Utility Pole

PPL22661

S32586

30.0'

1/2 R.O.W.

80'

20'

Utility Pole

PPL22663

S32582

30.0'

1/2 R.O.W.

80'

20'

Utility Pole

PPL22661

S32586

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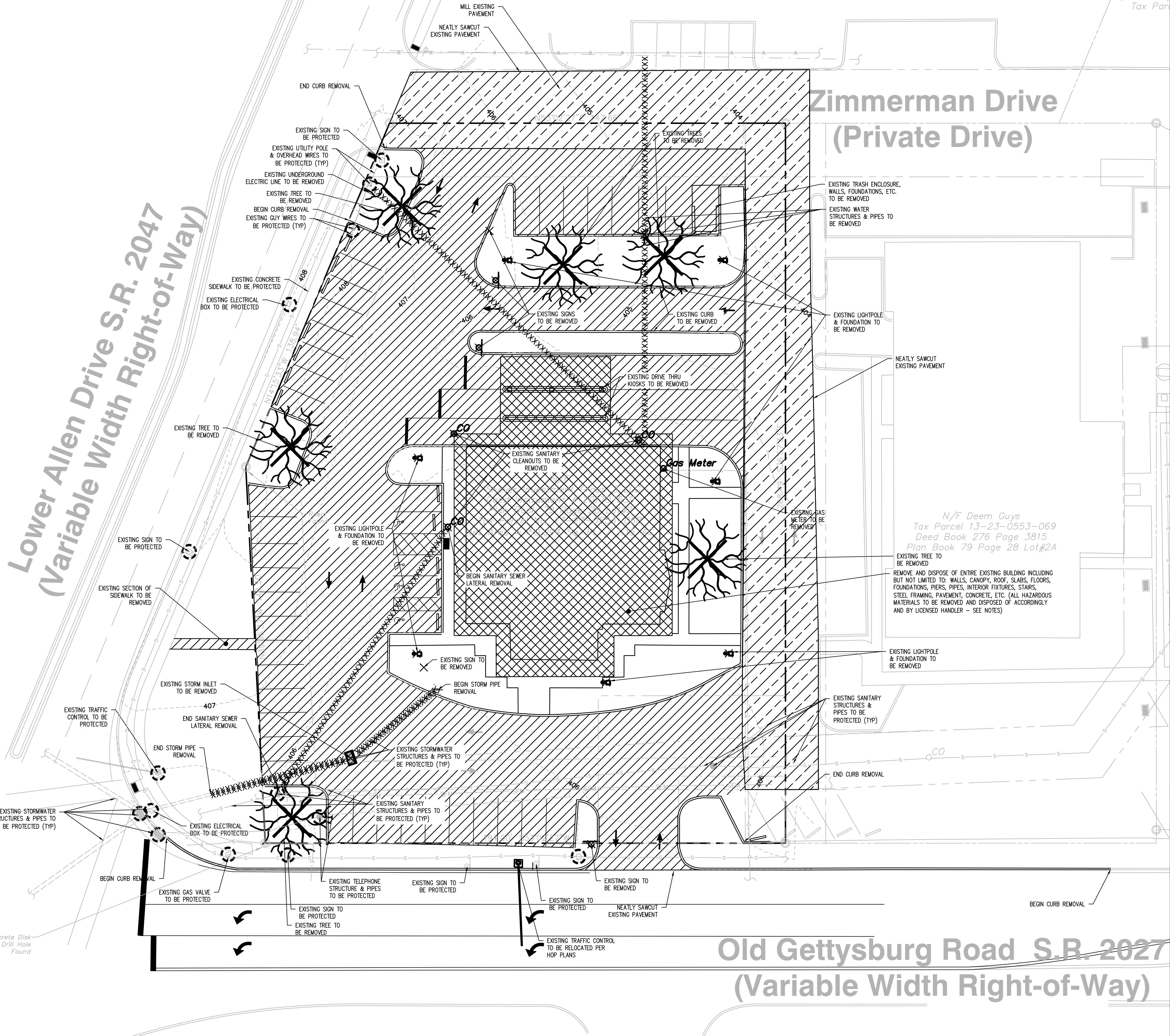
Utility Pole

PPL22661

S32586

30.0'

1/2 R.O.W.

Lower Allen Drive S.R. 2047  
 Variable Width Right-of-Way


## DEMOLITION PLAN LEGEND

|               |  |
|---------------|--|
| PROPERTY LINE | EXISTING UTILITY / STORMWATER LINE TO BE REMOVED |
| XX            | PAVEMENT / CONCRETE TO BE REMOVED                |
| XXXXXX        | BUILDING / CANOPY TO BE REMOVED                  |
| ---           | MILL EXISTING PAVEMENT                           |
| X             | ITEM TO BE REMOVED                               |
| ○             | ITEM TO BE PROTECTED                             |

## DEMOLITION NOTES

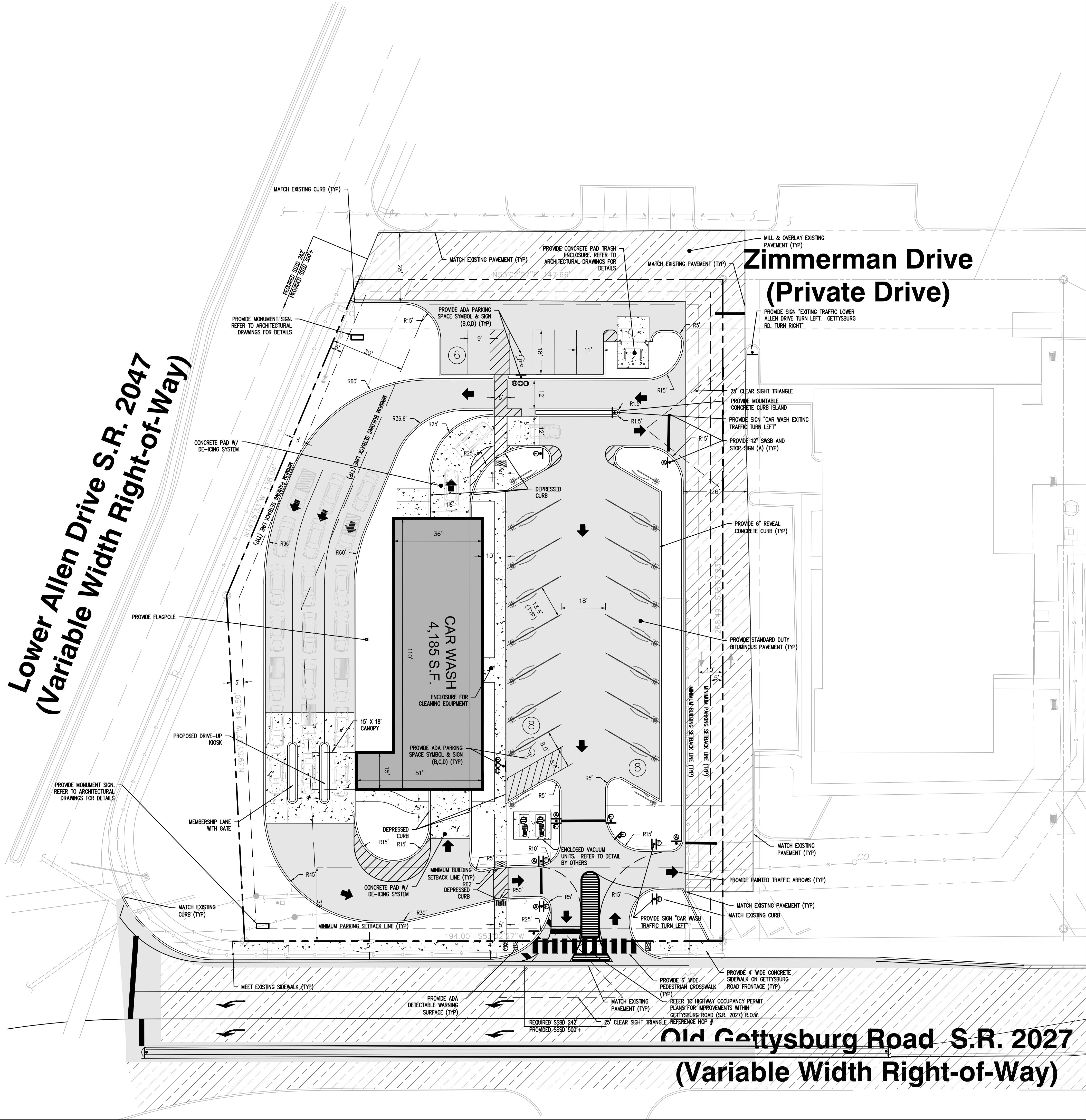
- CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING, GRUBBING, AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- EROSION AND SEDIMENT CONTROLS AS SHOWN ON THE EROSION AND SEDIMENT POLLUTION CONTROL PLAN SHALL BE INSTALLED BY THE DEMOLITION CONTRACTOR PRIOR TO START OF DEMOLITION, AND CLEARING AND GRUBBING OPERATIONS.
- REMOVE, AND DISPOSE OF ANY DEMOLITION MATERIAL, DEBRIS, AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF-SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
- THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
- THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG ALL SERVICE PIPING AS REQUIRED, OR AS OTHERWISE NOTED HEREON. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT, OR PLUGGED. THE OWNER SHALL PAY ALL UTILITY COMPANY PROVIDER FEES FOR ABANDONMENT AND REMOVALS.
- THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS, AND PROPERTY CORNERS DURING DEMOLITION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND/OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF HIS WORK UNLESS OTHERWISE NOTED. THE SITE CONTRACTOR, WHENEVER OCCURS FIRST, OR OTHERWISE REPRESENTATIVE THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENT POLLUTION CONTROLS AND FOR INSTALLATION OF ANY NEW EROSION AND SEDIMENT POLLUTION CONTROLS AS FOR THE EROSION AND SEDIMENT POLLUTION CONTROL PLAN AT THAT TIME.
- THE CONTRACTOR SHALL ADHERE TO ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN PROXIMITY OF OVERHEAD UTILITY LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO UTILITY LINES, CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID BY THE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED OR ORDERED BY THE ENGINEER, OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS OBTAINED.
- INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY, AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT PENNSYLVANIA ONE CALL 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK AT (800) 242-1776 AND VERIFY ALL UTILITY AND DRAINAGE LOCATIONS.
- THE CONTRACTOR SHALL PROVIDE DISCONNECT NOTIFICATION TO ALL UTILITIES LISTED WITHIN THE PA ONE-CALL INFORMATION AT LEAST THREE WEEKS PRIOR TO BEGINNING DEMOLITION.
- BACKFILL AND COMPACT DEPRESSION, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS WITH APPROVED SOIL MATERIAL, FERTILIZE, SEED, AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. BUILDING FOUNDATION AREA TO BE BACKFILLED IN 6" LIFTS WITH GRAVEL, FILL, OR MATERIAL SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT. COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557 AT  $\pm 3\%$  OF OPTIMUM MOISTURE CONTENT. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, DRAINAGE STRUCTURE, SWALE, OR LANDSCAPE AREAS DISTURBED DURING DEMOLITION TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE OWNER, MUNICIPALITY, AND PENNSYLVANIA ONE-CALL.
- THE CONTRACTOR SHALL CUT AND REMOVE AT LUMINAIRES AND SIGN LOCATIONS ANY PROTRUDING CONDUITS TO 24" BELOW GRADE. THE CONTRACTOR SHALL REMOVE ALL CABLE AND CONDUCTORS FROM REMAINING LIGHTING AND SIGNING CONDUITS TO BE ABANDONED. ANY REMAINING LIGHTING TO REMAIN IN PLACE SHALL BE RECYCLED OR REUSED AS NECESSARY TO REMAIN IN OPERATION.
- NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH THE OWNER AND THE PROJECT ENGINEER IS PERFORMED. THE CONTRACTOR SHOULD BE AWARE OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS, AS WELL AS HAVE ONE CALL DIG MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.
- THE CONTRACTOR OR DEMOLITION CONTRACTOR SHALL INSTALL TEMPORARY SHEETING OR SHORING AS NECESSARY FOR PROTECTION DURING CONSTRUCTION AND DEMOLITION. SHEETING OR SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, LICENSE IN THIS STATE AND EVIDENCE OF SUCH SUBMITTED TO THE OWNER PRIOR TO INSTALLATION.
- NO SALVAGE SHALL BE PERMITTED UNLESS PAID TO THE OWNER AS A CREDIT.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT, AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY WITH CFR29 PART 1923 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
- THE CONTRACTOR SHALL NOT COMMENCE DEMOLITION OR UTILITY DISCONNECTIONS UNTIL AUTHORIZED TO DO SO BY THE OWNER.
- CARE SHOULD BE TAKEN TO PREVENT DUST AND DEBRIS FROM LEAVING THE BOUNDARIES OF THE PROPERTY.
- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL, AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING OR THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SHALL BE RAZED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET, ARCHITECTURAL PLANS, AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS.
- THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
- UTILITY CONTACTS ARE LISTED ON SHEET CV-1.
- ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON-SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NATURALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO COMPLETE SUCH WORK.

 REVISIONS  
 No. 1 Date 12/06/2022 Description / Reason REVISED PER TOWNSHIP & COUNTY COMMENTS  
 2 01/03/2023 REVISED PER APPROVED HOP ISSUED FOR CONSTRUCTION  
 3 03/17/2025 REVISED PER APPROVED HOP ISSUED FOR CONSTRUCTION

 Designer C.J.S.  
 Drafter C.J.S.  
 Reviewer A.J.D.  
 Scale 1" = 20'  
 Project No. 220518  
 Date 10/14/2022  
 CAD File: DM2218\_P01  
 Sheet Title DEMOLITION PLAN  
 Sheet Number DM-1

 Xref (b) : BD11-2201  
 GRAPHIC SCALE  
 20 10 0 20  
 SCALE IN FEET  
 4 OF 20

# Lower Allen Drive S.R. 2047 (Variable Width Right-of-Way)



## ZONING INFORMATION

| LOCATION: LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY |                            |               |   |          |
|---|----------------------------|---------------|---|----------|
| ZONE: REGIONAL COMMERCIAL DISTRICT (C-4)          |                            |               |   |          |
| USE: CAR WASH (PERMITTED USE)                     |                            |               |   |          |
| ITEM #  | ITEM                       | REQUIREMENTS  | PROPOSED  | VARIANCE |
| 1   | MINIMUM LOT AREA           | NONE REQUIRED | 1.15 AC   | NO       |
| 2   | MINIMUM LOT WIDTH          | 50 FEET       | 109 FEET  | NO       |
| 3   | MINIMUM FRONT SETBACK      | 30 FEET       | 30 FEET   | NO       |
| 4   | MINIMUM SIDE SETBACK       | 10 FEET       | 10 FEET   | NO       |
| 5   | MINIMUM REAR SETBACK       | 35 FEET       | N/A   | NO       |
| 6   | MAXIMUM BUILDING HEIGHT    | 75 FEET       | < 75 FEET                                       | NO       |
| 7   | MAXIMUM BUILDING COVERAGE* | 70 PERCENT    | *83.7 PERCENT EXISTING<br>77.4 PERCENT PROPOSED | NO       |

NOTE: THE SITE IS PROPOSED TO BE SERVED BY PUBLIC SEWER AND WATER.

\* EXISTING IMPERVIOUS COVERAGE IS 83.7%, WHICH MAKES THIS REQUIREMENT AN EXISTING NON-COMPLIANCE. THE PLAN DOES NOT PROPOSE TO INCREASE IMPERVIOUS COVERAGE FURTHER THAN IS EXISTING.

PROPOSED IMPERVIOUS COVERAGE = 39.365 SQUARE FEET

\*\* THE EXISTING PARKING STALLS LOCATED ALONG ZIMMERMAN DRIVE ARE AN EXISTING NON-COMPLIANCE.

\*\*\* EXISTING PARKING STALLS ENTRANCE WITHIN 5 FEET OF THE PROPERTY LINE ALONG LOWER ALLEN DRIVE WHICH CREATES AN EXISTING NON-COMPLIANCE.

## PARKING INFORMATION

| ITEM # | ITEM                                | REQUIREMENTS  | PROPOSED  | VARIANCE |
|--------|-------------------------------------|---|---|----------|
| 1      | PARKING REQUIRED                    | 2 SPACES PER WASH BAY IN ADDITION TO STACKING LANES.<br>REQUIRED PARKING: 6 SPACES<br>REQUIRED STACKING AREA: 4 VEHICLE LENGTHS PER DAY AT ENTRANCE, 2 VEHICLE LENGTHS PER DAY AT EXIT. | PROPOSED PARKING: 6 SPACES<br>ENTRANCE STACKING: 21+ VEHICLES<br>EXIT STACKING: 3+ VEHICLES | NO       |
| 2      | MINIMUM ADA PARKING SPACES REQUIRED | 1 SPACE   | 1 SPACE   | NO       |
| 3      | MINIMUM PARKING DIMENSIONS          | 9 FEET X 18 FEET  | 9 FEET X 18 FEET  | NO       |
| 4      | MINIMUM AISLE WIDTH                 | 24 FEET - 2-WAY<br>18 FEET - 1-WAY (60° PARKING)<br>12 FEET - 1-WAY (NO PARKING)  | 24 FEET - 2-WAY<br>18 FEET - 1-WAY (60° PARKING)<br>12/16 FEET - 1-WAY (NO PARKING)         | NO       |
| 5      | MINIMUM PARKING SETBACK*            | 5 FEET FROM LOT LINE<br>10 FEET FROM BUILDING   | 5 FEET<br>10 FEET   | NO       |

## SIGN LEGEND

| SIGN NO. | QUANTITY | PENDOT NO. / SIZE                 |
|----------|----------|-----------------------------------|
| A        | 6        | R1-1<br>30"x30"                   |
| B        | 2        | R7-8<br>12"x16"                   |
| C        | 2        | R7-8F<br>12"x16"                  |
| D        | 2        | R7-BP<br>12"x6"                   |
| E        | 2        | R3-2<br>24"x24"<br>(NO LEFT TURN) |
| F        | 7        | R5-1<br>30"x30"<br>(DO NOT ENTER) |

NOTE: ALL SIGNS MUST COMPLY WITH THE REQUIREMENTS OF ARTICLE XXV OF LOWER ALLEN TOWNSHIP.

## SITE PLAN LEGEND

|                                 |  |
|---------------------------------|--|
| PROPERTY LINE                   | REvised per Township & County Comments             |
| BUILDING SETBACK LINE           | Revised per Approved HOP / Issued for Construction |
| PARKING SETBACK LINE            |  |
| PROPOSED CURB                   |  |
| PROPOSED STANDARD DUTY PAVEMENT |  |
| PROPOSED MILL AND OVERLAY       |  |
| PROPOSED CONCRETE               |  |
| PROPOSED SIGN                   |  |

REVISIONS  
No. 1 12/06/2022  
2 01/03/2023  
3 01/03/2025

Designer C.J.S.  
Drafter C.J.S.  
Reviewer A.J.D.  
Scale 1" = 20'  
Project No. 220518  
Date 10/14/2022  
CAD File: SP2218\_P01  
Sheet Title SITE PLAN

Sheet Number SP-1  
XRef (b): BD01\_XP01; XZ01\_XZ01; XZ216\_01  
5 OF 20

## GRADING AND STORMWATER PLAN LEGEND

|         |                        |  |
|---------|------------------------|--|
| LOD     | LOD                    | PROPERTY LINE  |
| NPDES   | NPDES                  | LIMIT OF DISTURBANCE                                     |
| NPDES   | NPDES                  | NPDES PERMIT BOUNDARY                                    |
| <hr/>   |                        | PROPOSED STORM CONVEYANCE LINE                           |
| □       |                        | PROPOSED CATCH BASIN                                     |
| ○       |                        | PROPOSED STORM MANHOLE                                   |
| ▷       |                        | PROPOSED FLARED END SECTION                              |
| ◁       |                        | PROPOSED ENDWALL OR HEADWALL                             |
| 100     |                        | PROPOSED MAJOR CONTOUR                                   |
| 101     |                        | PROPOSED MINOR CONTOUR                                   |
| ×100.00 |                        | PROPOSED SPOT ELEVATION                                  |
| ×       | TC 100.50<br>BC 100.00 | ABBREVIATIONS<br>TC = TOP OF CURB<br>BC = BOTTOM OF CURB |
| ×       | TW 105.00<br>BW 100.00 | TW = TOP OF WALL<br>BW = BOTTOM OF WALL                  |
| 2.00%   |                        | PROPOSED SURFACE SLOPE                                   |

## OPERATION & MAINTENANCE OF BMPs

1. THE PURPOSE OF THESE INSTRUCTIONS IS TO IDENTIFY THE OWNERSHIP AND MAINTENANCE ACTIVITIES ASSOCIATED WITH THE PROPOSED SUBSURFACE INFILTRATION BASIN AND COLLECTION/CONVEYANCE SYSTEM. THE AFOREMENTIONED FACILITIES SHALL BE THE RESPONSIBILITY OF THE PERMIT APPLICANT (PERMITTEE).
2. ALL PCSM BMPs WILL BE INSPECTED ACCORDING THE TO THE SCHEDULES LISTED BELOW. A WRITTEN REPORT MUST BE COMPLETED DOCUMENTING EACH INSPECTION AND ANY REPAIR, REPLACEMENT, OR MAINTENANCE ACTIVITY.
3. SOIL, TRASH, DEBRIS, OR OTHER MATERIALS REMOVED FROM PCSM BMPs SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET SEQ. NO WASTES, UNUSED BUILDING MATERIALS, OR OTHER MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
4. ALL DAMAGED OR NON-FUNCTIONAL BMPs SHALL BE REPAIRED IMMEDIATELY. ANY PCSM BMPs THAT CANNOT BE REPAIRED MUST BE REPLACED AS SOON AS PRACTICABLE.
5. THE PERMIT APPLICANT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF PERMANENT STORMWATER FACILITIES LOCATED ON THE SUBJECT PROPERTY. PERMANENT MAINTENANCE OF THE STORM SYSTEM AFTER ACCEPTANCE WILL PRIMARILY CONSIST OF ROUTINE CLEANING OF ACCUMULATED SEDIMENT AND DEBRIS BY FACILITIES STAFF OR PRIVATE CONTRACTORS. THE SPECIFIC MAINTENANCE STEPS AND SCHEDULES ARE LISTED BELOW:

## NOTES

1. STORMWATER CONSERVATION EASEMENTS SHALL BE PROVIDED FOR ALL PHYSICAL STORMWATER MANAGEMENT FACILITIES AND CONVEYANCE FACILITIES. EASEMENTS ARE DEPICTED ON THE PLAN A MINIMUM OF 20' IN WIDTH, CENTERED ON THE FACILITIES WITHIN THE EASEMENT, AND SHALL EXTEND A MINIMUM OF 5' BEYOND THE EDGE OF THE FACILITIES.
2. THE LANDOWNER HEREBY GRANTS PERMISSION TO THE MUNICIPALITY, ITS AUTHORIZED AGENTS, AND EMPLOYEES ACCESS TO ANY AND ALL STORMWATER MANAGEMENT CONSERVATION EASEMENTS ON THE PROPERTY BY OFFERING A BLANKET EASEMENT.
3. STORMWATER MANAGEMENT CONSERVATION EASEMENTS FOR CONVEYANCE FACILITIES SHALL BE LOCATED AND OFFSET FROM THE CENTER OF THE RESPECTIVE CONVEYANCE FACILITY AS INSTALLED.

# SUBSURFACE BASIN CONSTRUCTION NOTES

- 1. IF REDOXIMORPHIC FEATURES (SOIL MOTTLING AND COLORATION PATTERNS FORMED BY THE REDUCTION OF IRON AND/OR MANGANESE FROM SATURATED CONDITIONS IN THE SOIL) ARE ENCOUNTERED:**
  - 1.1. A QUALIFIED PROFESSIONAL SHOULD DETERMINE IF THE FEATURES OBSERVED ARE ASSOCIATED WITH A HISTORIC CONDITION (ASSOCIATED WITH FILL, PREVIOUS SITE CONDITION, OR NATURAL COLORATION) OR ARE ASSOCIATED WITH CONDITIONS THAT COULD PRESENTLY OCCUR (SEASONAL VARIOUS IN THE WATER TABLE).
  - 1.2. EVALUATION THE ELEVATION OF THE FEATURES RELATIVE TO THE PROPOSED DESIGN ELEVATION OF THE SWM FEATURE AND DETERMINE IF THE SIZE AND ELEVATION OF THE SWM FEATURE CAN BE ADJUSTED TO ALLEVIATE THE CONFLICT.
  - 1.3. RETAIN ECS AND CIVIL ENGINEER TO EVALUATE ALTERNATE DESIGN CONCEPTS. ALTERNATE DESIGNS PROPOSED BY THE PROFESSIONAL SHOULD BE SEALED AND SUBMITTED TO THE TOWNSHIP FOR APPROVAL.
- 2. IF THE FIELD VERIFIED INFILTRATION RATES ARE EXCESSIVELY HIGH (GREATER THAN 6 INCHES PER HOUR):**
  - 2.1. DETERMINE THE EXTENT OF THE MATERIALS EXHIBITING THE HIGH INFILTRATION RATES THROUGH A COMBINATION OF VISUAL-MANUAL CLASSIFICATION, HAND PROBING, DENSITY TESTING, OR OTHER SUITABLE METHODS DETERMINED BY ECS.
  - 2.2. OVEREXCAVATE THE MATERIALS TO THE DEPTH WHERE THE MATERIAL TYPE CHANGES OR A MAXIMUM DEPTH OF 2 FEET, WHICHEVER IS ENCOUNTERED FIRST.
  - 2.3. IF EXCESSIVE RATES ARE ASSOCIATED WITH WEATHERED OR BROKEN ROCK, THE ROCK SURFACE SHOULD BE EXAMINED BY ECS, PRIOR TO REPLACEMENT OF SUITABLE MATERIAL.
  - 2.4. REPLACE THE EXCAVATED MATERIAL WITH FINER GRAINED MATERIALS APPROVED BY ECS. SUITABLE SOIL MIXTURES CAN CONSIST OF A BLEND OF ON-SITE AND/OR OFF-SITE MATERIALS AVAILABLE TO THE CONTRACTOR GENERAL CONFORMING TO THE SPECIFICATIONS BELOW, WITH FIELD INFILTRATION RATES POST-PLACEMENT DETERMINED AND APPROVED BY ECS.
    - 2.4.1. SAND, LOAMY SAND, SANDY LOAM
    - 2.4.2. SAND - MIN. 50%, MAX. 100%
    - 2.4.3. SILT - MIN. 0%, MAX. 50%
    - 2.4.4. CLAY - MIN. 0%, MAX. 20%
    - 2.4.5. INFILTRATION RATE - 0.5 TO 6.0 INCHES PER HOUR
  - 2.5. MATERIALS SHOULD BE LIGHTLY TRACKED INTO PLACE IN NON-STRUCTURAL AREAS.
  - 2.6. IF MATERIAL PLACEMENT IS REQUIRED IN STRUCTURAL AREAS (EX. BELOW-GRADE SWM FACILITIES IN PAVED AREAS), MATERIAL PLACEMENT SPECIFICATIONS, INCLUDING MATERIALS TYPE, MIX RATIO, COMPACTIVE EFFORT AND REQUIRED DENSITY SHOULD BE DETERMINED BY ECS. TECHNICAL RECOMMENDATIONS SHOULD BE SEALED BY ECS AND SUBMITTED TO THE TOWNSHIP FOR APPROVAL.
- 3. IF THE FIELD VERIFIED INFILTRATION RATES ARE EXCESSIVELY LOW (LESS THAN 0.1 IN/HR):**
  - 3.1. DETERMINE THE EXTENT OF THE MATERIALS EXHIBITING LOW INFILTRATION RATES THROUGH A COMBINATION OF VISUAL-MANUAL CLASSIFICATION, HAND PROBING, DENSITY TESTING, OR OTHER SUITABLE METHODS AS DETERMINED BY ECS.
  - 3.2. OVEREXCAVATE THE MATERIALS TO THE DEPTH WHERE THE MATERIAL TYPE CHANGES OR A MAXIMUM DEPTH OF 2 FEET, WHICHEVER IS ENCOUNTERED FIRST.
  - 3.3. IF BEDROCK IS ENCOUNTERED, THE ROCK SHOULD BE REMOVED TO A MINIMUM DEPTH OF 2 FEET BELOW THE BOTTOM OF BASIN AND SHOULD BE EXAMINED BY ECS, PRIOR TO PLACEMENT OF SUITABLE MATERIAL.
  - 3.4. REPLACE THE EXCAVATED MATERIAL WITH MORE COARSELY GRAINED MATERIALS APPROVED BY ECS. SUITABLE SOIL MIXTURES CAN CONSIST OF A BLEND OF ON-SITE AND/OR OFF-SITE MATERIALS AVAILABLE TO THE CONTRACTOR, AND SUBJECT TO TESTING AND APPROVAL OF ECS.
  - 3.5. SUITABLE SOIL MIXTURES MAY CONSIST OF MATERIALS BLENDED BY VOLUME RATIOS AS DETERMINED BY ECS.
  - 3.6. MATERIALS SHOULD BE LIGHTLY TRACKED INTO PLACE IN NON-STRUCTURAL AREAS.

| SUBSURFACE INFILTRATION BASIN   |                | STORMWATER COLLECTION/CONVEYANCE  |  |
|---|----------------|---|--|
| OPERATION & MAINTENANCE PROCEDURES  |                | OPERATION & MAINTENANCE PROCEDURES  |  |
| ACTIVITY  | SCHEDULE       | ACTIVITY  | SCHEDULE                               |
| UPGRADIENT CATCH BASINS AND INLETS SHOULD BE INSPECTED AND CLEANED.   | QUARTERLY      | INLETS & CATCH BASINS SHOULD BE CLEANED OF DEBRIS. IF TRASH OR DEBRIS IS DISCOVERED, REMOVED FROM FACILITIES. REPAIRS SHOULD BE MADE AS SOON AS PROBLEMS ARISE.   | CLEAN ONCE PER YEAR & REPAIR AS NEEDED |
| THE VEGETATION FOR CONTRIBUTING DRAINAGE AREA SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED.   | QUARTERLY      | INSPECT OUTFALL STRUCTURES FOR DEBRIS, CLOGGING, AND FUNCTIONALITY. IF PROBLEM ARISES, REMOVE DEBRIS, UNCLOG WITH VACUUM AND/OR CONTACT SITE ENGINEER, RESPECTIVELY. INSPECTION SHALL OCCUR QUARTERLY WITHIN FIRST YEAR AND ONCE PER YEAR THEREAFTER. | QUARTERLY & ONCE PER YEAR              |
| INSPECT AFTER RUNOFF EVENTS GREATER THAN 2.9 INCH AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN NO MORE THAN 3 DAYS.   | TWICE PER YEAR | INSPECT COLLECTION/CONVEYANCE SYSTEMS FOR DEBRIS, CLOGGING, AND FUNCTIONALITY. IF PROBLEM ARISES, REMOVE DEBRIS, UNCLOG WITH VACUUM AND/OR CONTACT SITE ENGINEER, RESPECTIVELY. INSPECTION SHALL OCCUR BIANNUALLY AT A MINIMUM.                       | TWICE PER YEAR                         |
| INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, EROSION, SIGNS OF WATER CONTAMINATION/SPILLS, AND INSTABILITY. LEAF LITTER NEEDS TO BE REMOVED ANNUALLY. | QUARTERLY      | <p>GENERAL MAINTENANCE NOTES:</p> <ol style="list-style-type: none"> <li>1. VACTOR TRUCKS MAY BE AN EFFICIENT CLEANING MECHANISM.</li> <li>2. CATCH BASINS SHOULD BE CLEANED BEFORE HALF FULL.</li> </ol>   |  |

CLOUD10 CAR WASH  
1852 CAMP HILL, LLC  
3556 GETTYSBURG ROAD  
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

scription / Reason  
ED PER TOWNSHIP & COUNTY COMMENTS  
ED PER TOWNSHIP COMMENTS  
ED PER APPROVED HOP / ISSUED FOR CONSTRUCTION

| REVISIONS   | Date       | Descr   |
|-------------|------------|---------|
| 1           | 12/08/2022 | REVISI  |
| 2           | 01/03/2023 | REVISI  |
| 3           | 03/17/2025 | REVISI  |
|             |            |         |
| Designer    |            | C.J.S   |
| Drafter     |            | C.J.S   |
| Reviewer    |            | A.J.D   |
| Scale       |            | 1" = 20 |
| Project No. |            | 220518  |

Date 10/14/2022  
CAD File: GD2218\_P01  
Sheet Title  
GRADING &  
STORMWATER  
PLAN

Sheet Number

# GS-1

6 OF 20

Lower Allen Drive S.R. 2047  
(Variable Width Right-of-Way)

I-1.4  
PENNDOT TYPE C  
TF=406.66  
INV IN=402.46  
INV OUT=402.36  
NPDES

OS-1.7  
PENNDOT TYPE M  
TF=407.57  
INV OUT=401.97  
NPDES

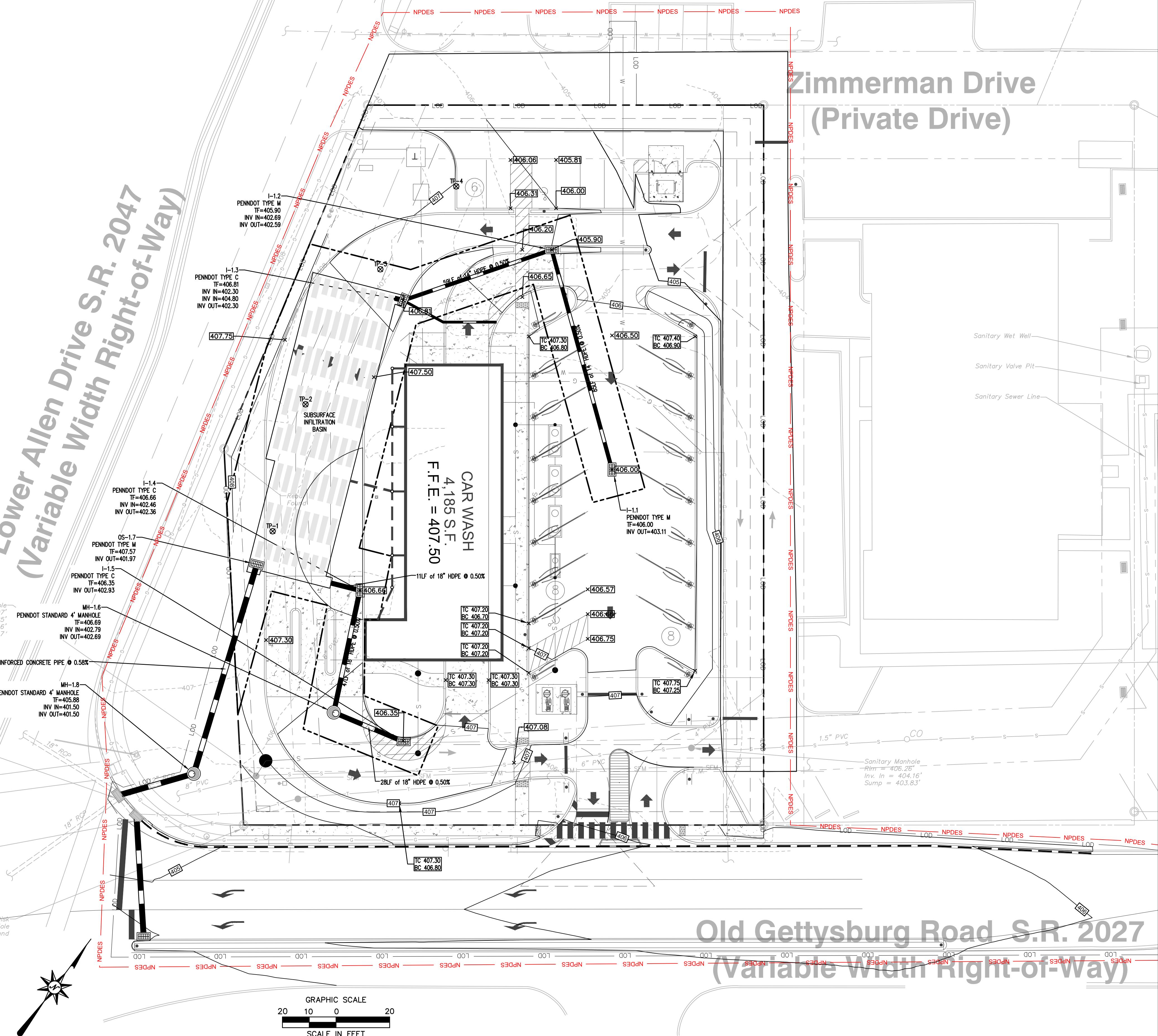
I-1.5  
PENNDOT TYPE C

# Zimmerman Drive (Private Drive)

# Old Gettysburg Road S.R. 2027

## (Variable Width Right-of-Way)

8/2025 CONNORSURGEONER, C:\USERS\CONNORSURGEONER\DESKTOP\ACCDocs\HYLAND ENGINEERING INC.\CLOUD10 CAMP HILL PROJECT FILES\LAND DEVELOPMENT\NTG2218\_P01.DWG, GS-1.



Lower Allen Drive S.R. 2047  
 (Variable Width Right-of-Way)

 Zimmerman Drive  
 (Private Drive)

 Old Gettysburg Road S.R. 2027  
 (Variable Width Right-of-Way)

## SITE UTILITIES PLAN LEGEND

|                              |
|------------------------------|
| PROPERTY LINE                |
| LOD — LOD —                  |
| E — E —                      |
| G — G —                      |
| W — W —                      |
| S — S —                      |
| LIMIT OF DISTURBANCE         |
| PROPOSED ELECTRIC LINE       |
| PROPOSED GAS LINE            |
| PROPOSED WATER LINE          |
| PROPOSED WATER VALVE         |
| PROPOSED SANITARY SEWER LINE |

## NOTES

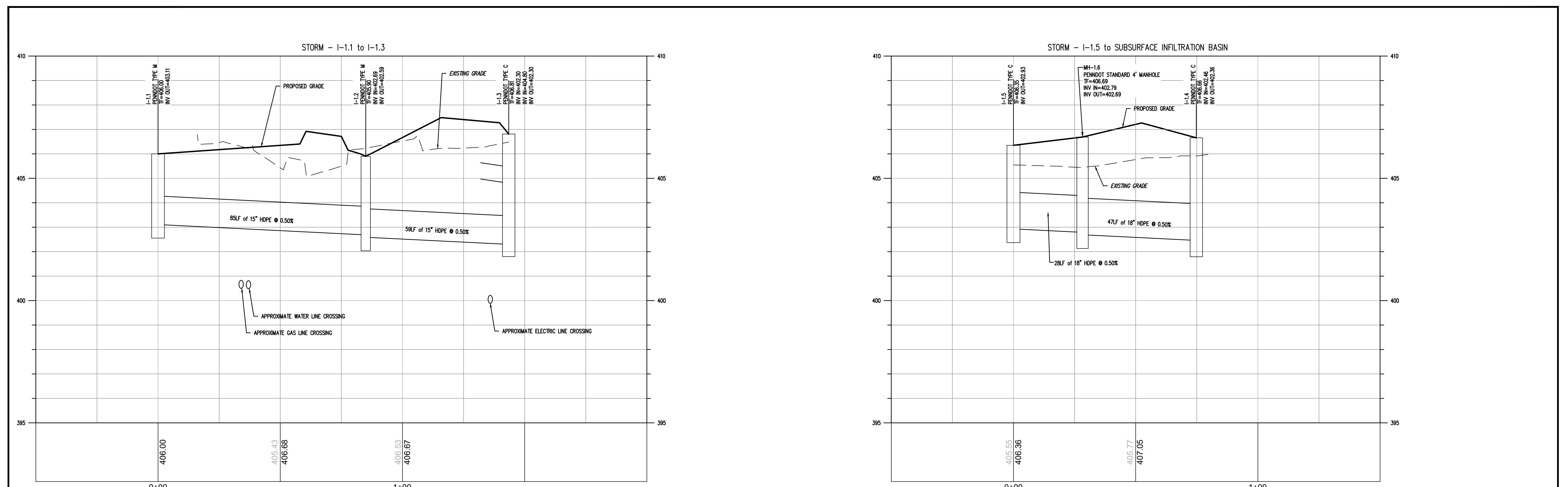
1. SANITARY SEWER & STORMWATER EASEMENTS SHALL BE PROMPTED FOR ALL PHYSICAL SANITARY SEWER FACILITIES, STORMWATER CONVEYANCE FACILITIES AND STORMWATER MANAGEMENT BMP'S. EASEMENTS SHALL BE A MINIMUM OF 20' IN WIDTH, CENTERED ON THE FACILITIES WITHIN THE EASEMENT, AND SHALL EXTEND A MINIMUM OF 5' BEYOND THE EDGE OF THE FACILITIES.
2. THE LANDOWNER HEREBY GRANTS PERMISSION TO THE MUNICIPALITY, ITS AUTHORIZED AGENTS, AND EMPLOYEES ACCESS TO ANY AND ALL SANITARY SEWER/STORMWATER EASEMENTS ON THE PROPERTY.
3. SANITARY SEWER/STORMWATER EASEMENTS FOR CONVEYANCE FACILITIES SHALL BE LOCATED AND OFFSET FROM THE CENTER OF THE RESPECTIVE CONVEYANCE FACILITY AS INSTALLED.
4. LOWER ALLEN TOWNSHIP AUTHORITY IS TO BE PROVIDED WITH MANUFACTURER DETAILS AND DESIGN INFORMATION OF THE SETTLING TANK AND OIL/WATER SEPARATOR FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

|           |     |            |  |
|-----------|-----|------------|--|
| REVISIONS | No. | Date       | Description / Reason                             |
|           | 1   | 12/06/2022 | REVISED PER TOWNSHIP & COUNTY COMMENTS           |
|           | 2   | 01/03/2023 | REVISED PER APPROVED HOP/ISSUED FOR CONSTRUCTION |
|           | 3   | 01/17/2025 | REVISED PER APPROVED HOP/ISSUED FOR CONSTRUCTION |

|              |                     |
|--------------|---------------------|
| Designer     | C.J.S.              |
| Drafter      | C.J.S.              |
| Reviewer     | A.J.D.              |
| Scale        | 1" = 20'            |
| Project No.  | 220518              |
| Date         | 10/14/2022          |
| CAD File:    | SU2218_P01          |
| Sheet Title  | SITE UTILITIES PLAN |
| Sheet Number | SU-1                |

 GRAPHIC SCALE  
 20 10 0 20  
 SCALE IN FEET

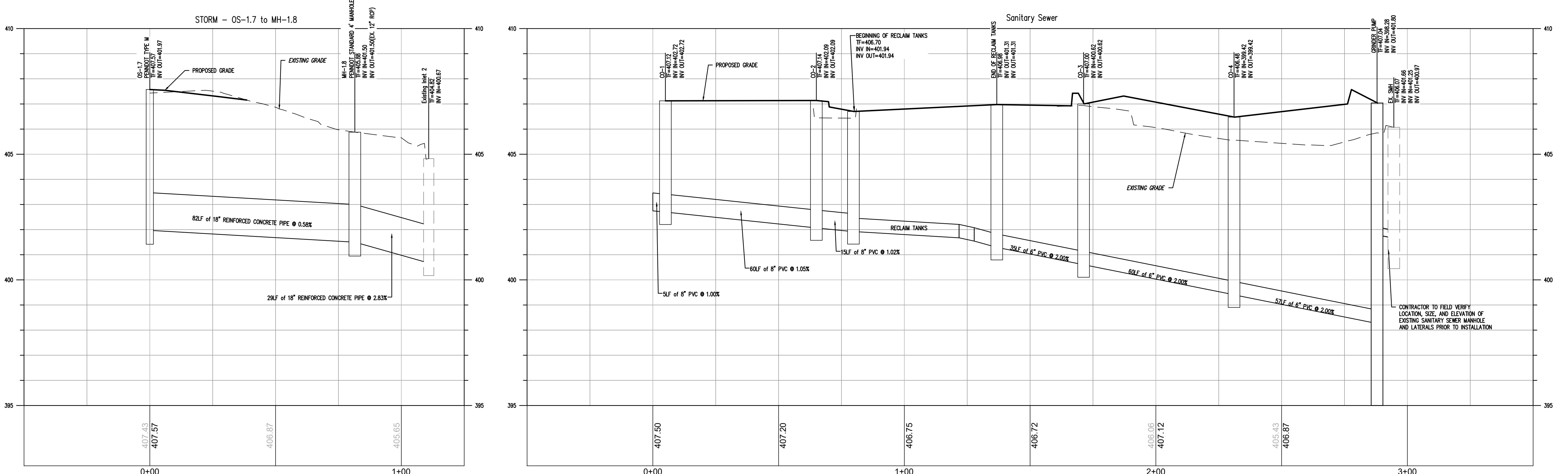


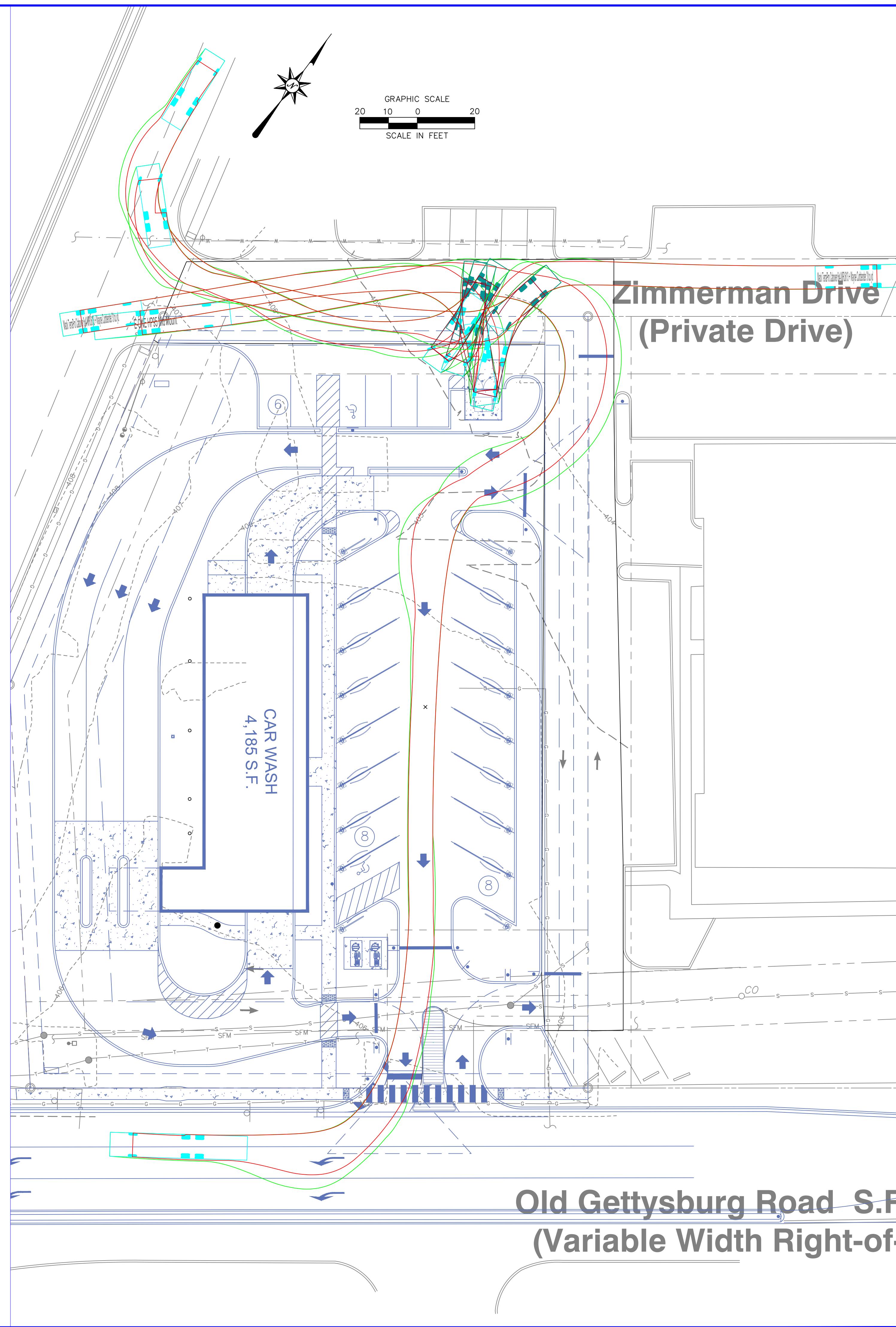
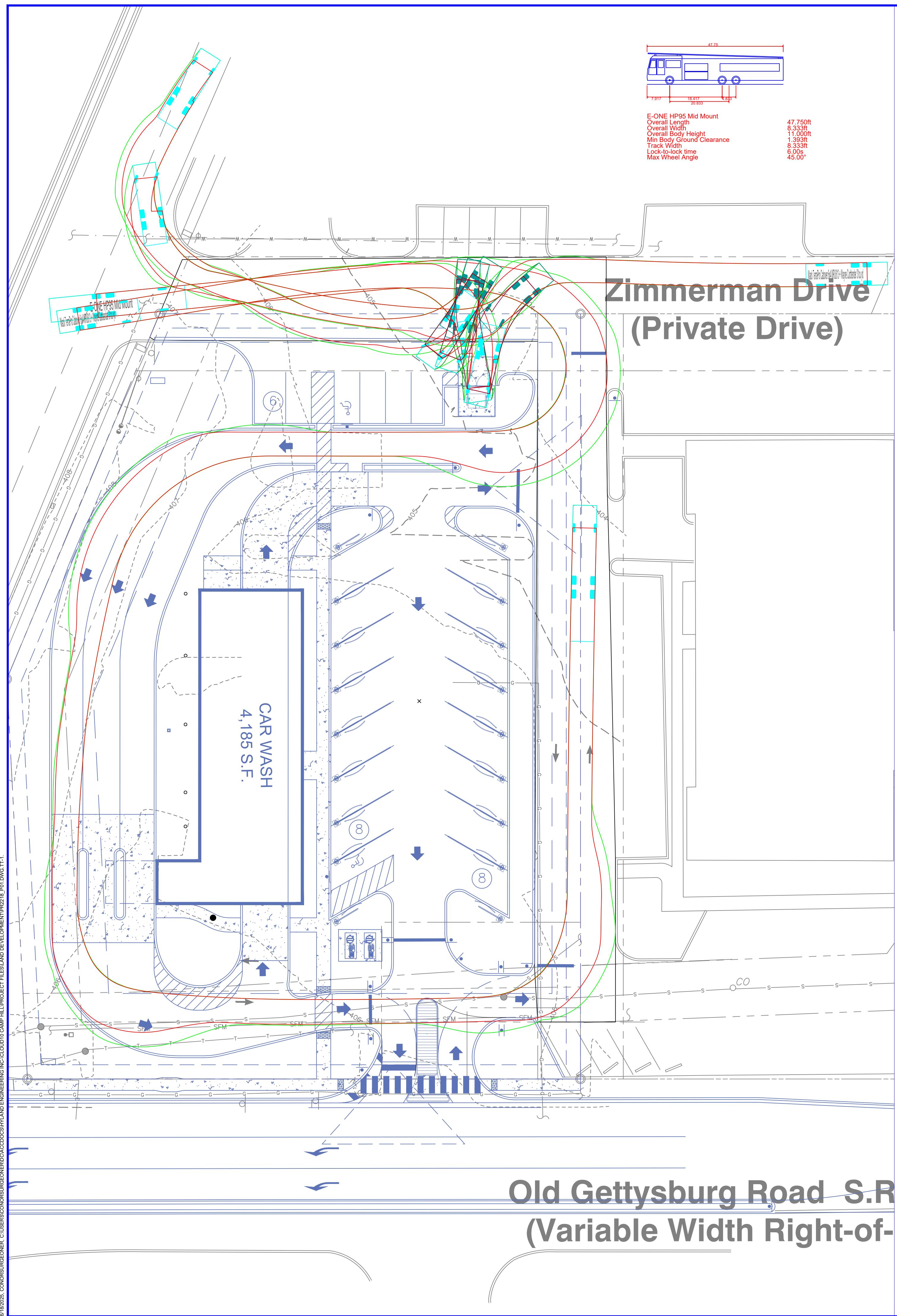
#### NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES SIZE, LOCATION, ELEVATION, ETC. PRIOR TO COMMENCEMENT OF ANY EARTH DISTURBANCE ACTIVITIES. THE EXISTING UTILITIES DEPICTED ARE BASED ON AVAILABLE DATA AND MAY NOT BE EXACT LOCATION.

VERTICAL GRAPHIC SCALE  
2 1 0 2  
SCALE IN FEET  
1"=3'

HORIZONTAL GRAPHIC SCALE  
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SCALE IN FEET  
1"=30'

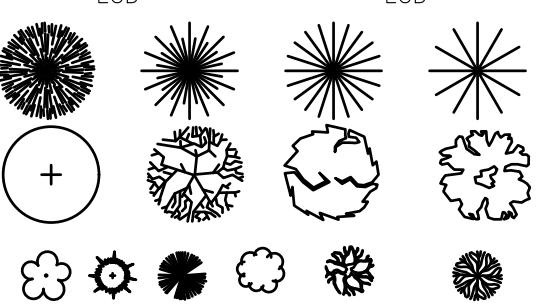




10/14/2022 10:20 AM  
PR2218\_P01

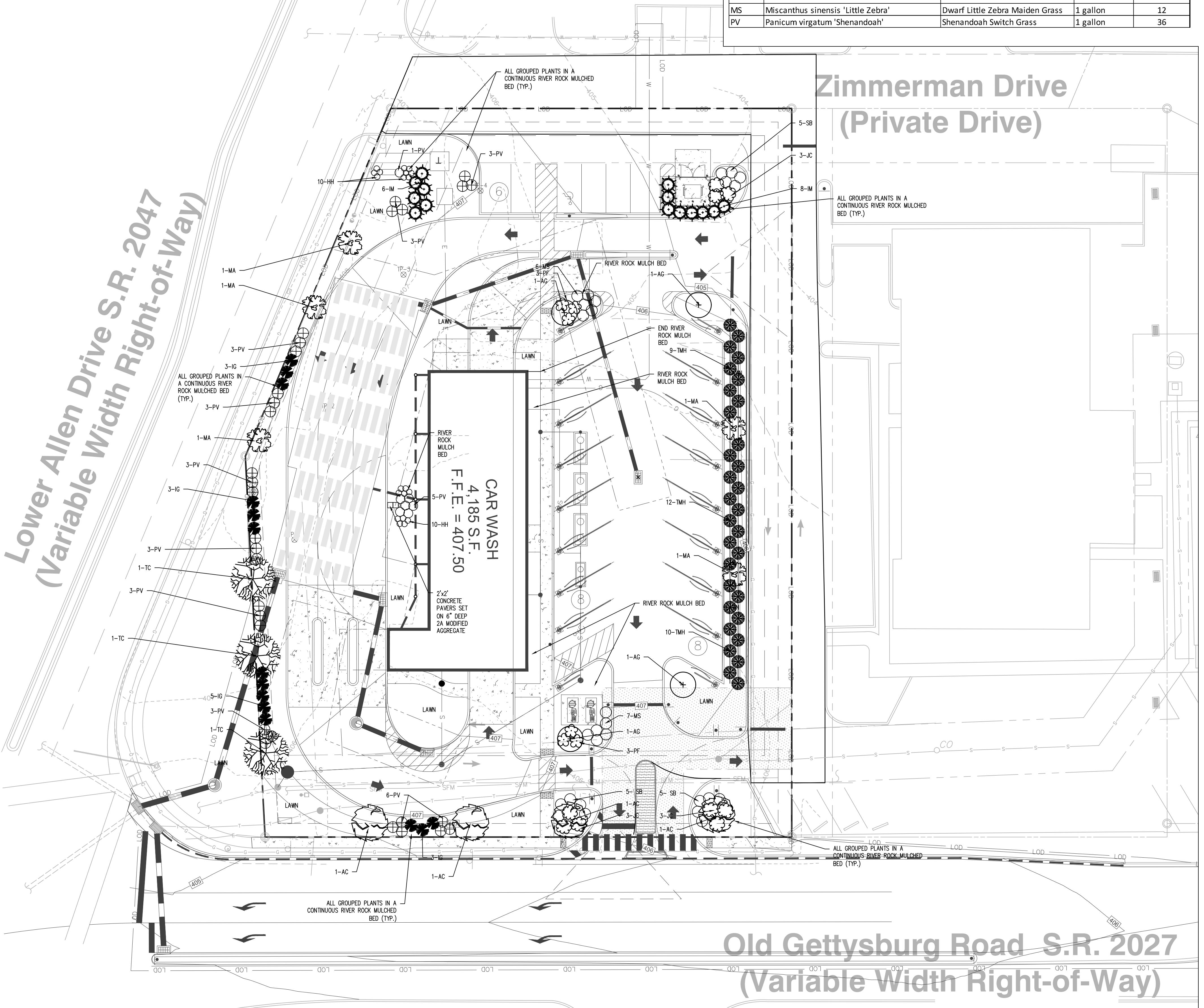
CLOUD10 CAR WASH  
1852 CAMP HILL, LLC  
3556 GETTYSBURG ROAD  
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

## LANDSCAPING PLAN LEGEND



## Landscape Plant Schedule

| SYMBOL SCIENTIFIC NAME                           | COMMON NAME                     | SIZE             | QUANTITY |
|--|---------------------------------|------------------|----------|
| Condition A Street Tree - 5' or less             |                                 |                  |          |
| MA Malus 'Adirondack'                            | Adirondack Crabapple            | 1.5-2" caliper   | 5        |
| Condition B Street Tree - 5'-10'                 |                                 |                  |          |
| AC Acer campestre 'Miyabe'                       | Miyabe Hedge Maple              | 2-2.5" caliper   | 4        |
| Condition C Street Tree - over 10'               |                                 |                  |          |
| TC Tilia cordata 'Corinthian'                    | Littleleaf Linden               | 2-2.5" caliper   | 3        |
| AG Amelanchier x grandiflora 'Autumn Brilliance' | Autumn Brilliance Serviceberry  | 1.5 - 2" caliper | 4        |
| IG Ilex glabra 'Compacta'                        | Compact Inkberry Holly          | 18"-24"          | 14       |
| IM Ilex x meserveae 'Blue Princess'              | Blue Princess Holly             | 24"-36"          | 14       |
| JC Juniperus chinensis 'Monle'                   | Mint Julep Juniper              | 18"-24"          | 9        |
| PF Potentilla fruticosa 'Goldfinger'             | Goldfinger Potentilla           | 18"-24"          | 6        |
| SB Spiraea x bumalda 'Goldflame'                 | Goldflame Spirea                | 18"-24"          | 15       |
| TMH Taxus x media Hicksii                        | Hicksii Yew                     | 24"-36"          | 31       |
| MS Miscanthus sinensis 'Little Zebra'            | Dwarf Little Zebra Maiden Grass | 1 gallon         | 12       |
| PV Panicum virgatum 'Shenandoah'                 | Shenandoah Switch Grass         | 1 gallon         | 36       |



## LANDSCAPING ORDINANCE REQUIREMENTS

| Zoning District: Regional Commercial C-4 |   |   |   |                 |
|--|---|---|---|-----------------|
| CODE SECTION                             | CODE CITATION   | REQUIREMENT   | PROPOSED  | VARIANCE/WAIVER |
| 220-200 A. Front Yard                    | Front Yard - 5% of the area shall be landscaped. The landscape areas shall contain evergreen or deciduous trees min. 1 1/2" caliper. Evergreen/deciduous shrubs min. one foot to three feet height in continuous groundcover. | 7,470 SF - Lower Allen Drive Front Yard x 5% = 374 SF<br>5,840 SF - Old Gettysburg Front Yard x 5% = 292 SF | 538 SF Landscape plants/bed - Lower Allen Road<br>705 SF Landscape plants/bed - Old Gettysburg Pike | NO              |
| 220-200 B. Parking Area                  | 5% interior parking area landscaped with one tree per 10 parking spaces. Mixture of flowering deciduous trees and evergreens.   | 6570 SF of interior parking area x 5% = 330 SF<br>23 parking spaces / 10 = 3 trees                          | 4 trees<br>540 SF interior landscape  | NO              |
| 220-201 A. Screening                     | Fence, wall, landscaping, berm or ex. Vegetation shall be provided to obscure certain uses. Dumpster and trash handling.  | Shrubs shall be evergreen and min. three feet in height and spaced 6 feet on center.                        | Eight evergreen plants with mature height over 3'.  | NO              |
| 220-214 B. Clear Sight Triangle          | A clear sight triangle - 25 feet along street lines - shall be maintained. Plantings limited to three feet in height.   | Plantings in clear sight triangle shall be less than three feet in height when mature                       | Complies  | NO              |
| 192-58 C. Street Trees                   | Street trees required - Condition A, B. One tree per 50' of street frontage along R-O-W.  | Lower Allen Drive - 270 LF Frontage / 50 = 6 trees<br>Old Gettysburg Road - 195 LF Frontage = 4 trees       | Lower Allen Drive - 6 proposed trees - Condition A & C<br>Old Gettysburg Drive - 4                  | NO              |
| 192-58 D. (1) (b) Buffer Yards           | Planting strip along Street frontage to include evergreen plantings.  | Lower Allen Drive and Old Gettysburg Road   | Evergreen shrubs in landscape buffer  | NO              |

## LANDSCAPING NOTES

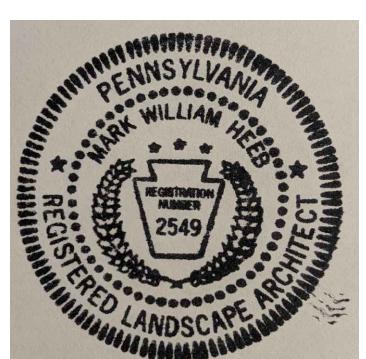
1. THE LANDSCAPE PLAN AND DETAIL SHEET ARE FOR LANDSCAPING INFORMATION ONLY. REFER TO THE SITE PLAN, GRADING AND DRAINAGE PLAN, SITE UTILITIES PLAN, LIGHTING PLAN AND DEMOLITION PLAN FOR ALL OTHER INFORMATION.
2. COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE. PRIOR TO DIGGING AND INSTALLATION OF PLANT MATERIAL, THE CONTRACTOR SHALL CONTACT PENNSYLVANIA 811 72 HOURS BEFORE COMMENCEMENT OF WORK AT (800)242-1776 AND VERIFY ALL UTILITY SYSTEM LOCATIONS.
3. THE CONTRACTOR SHALL GUARANTEE THAT ALL PLANTS SHALL BE HEALTHY AND FREE OF DISEASE FOR A PERIOD OF ONE YEAR OR JUNE 1ST OF THE FOLLOWING INSTALLATION YEAR. AFTER ONE YEAR, THE OWNER OR LANDSCAPE ARCHITECT SHALL REPLACE ANY DEAD OR UNHEALTHY PLANTS AT CONTRACTOR'S EXPENSE. PLANT MATERIAL REPLACEMENTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM DATE OF REPLACEMENT. REPLACEMENT PLANTS SHALL BE THE SAME AS SPECIFIED FOR THE ORIGINAL PLANTING. REPLACEMENTS SHALL BE MADE AS MANY TIMES AS NECESSARY TO ENSURE HEALTHY PLANTS. FINAL ACCEPTANCE SHALL BE MADE IF ALL PLANTS MEET THE GUARANTEED REQUIREMENTS INCLUDING MAINTENANCE. MAINTENANCE RESPONSIBILITIES INCLUDE CULTIVATING, SPRAYING, WEEDING, WATERING, TIGHTENING GUYS, PRUNING, FERTILIZING, MULCHING, AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN PLANT VIABILITY.
4. THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY.
5. PLANTS SHALL HAVE TAGS THAT IDENTIFY PLANT GENUS, SPECIES, CULTIVAR (IF APPLICABLE), PLANT COMMON NAME, NAME OF SOURCE NURSERY, AND SIZE OF PLANT FOR REVIEW OF OWNER OR LANDSCAPE ARCHITECT.
6. ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 6" WITH 3"-4" RIVER ROCK.
7. LANDSCAPE PLANTING AREAS MUST BE FREE DRAINING. PAVEMENT, COMPACTED SUBGRADE, DEAD OR DYING PLANT MATERIAL, BLASTED ROCK, STONES GREATER THAN 1" IN DIAMETER, AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT SHALL BE REMOVED FROM AREAS TO BE LANDSCAPED AS REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS.
8. PLANTING SOIL: DEPTH: PLANTING SOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4" OR AS NOTED IN THE LANDSCAPE DETAILS. PLANTING SOIL SHALL BE UTILIZED IN ALL PLANTING AREAS INCLUDING SEEDED AREAS.
9. TESTING: CONTRACTOR SHALL SUBMIT (2) SOIL SAMPLES PER SOIL STOCKPILE TO A CERTIFIED TESTING LABORATORY TO DETERMINE ACIDITY, ORGANIC CONTENT, MECHANICAL ANALYSIS, AVAILABLE NUTRIENTS (N,P,K,Ca,Mg,S,Fe,Mn,Zn,Cu,B,A,Pb) AND NECESSARY AMENDMENTS TO SOIL. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS TO THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. TEST RESULTS SHALL RECOMMEND AMENDMENTS THAT WILL ALTER THE SOIL CHARACTERISTICS SUCH THAT THE CHARACTERISTICS DESCRIBED BELOW ARE ACHIEVED AND THE SPECIFIED PLANTS (CONTRACTOR TO PROVIDE LIST TO TESTING LABORATORY) WILL ACHIEVE PROPER GROWTH THAT IS NEITHER DEFICIENT NOR EXCESSIVE. THE CONTRACTOR SHALL INCORPORATE THESE AMENDMENTS AT NO INCREASE IN CONTRACT PRICE.
10. PLANTING AMENDMENTS: APPLY FERTILIZER AND OTHER AMENDMENTS AS RECOMMENDED FOR EACH PLANTING AREA BY SOIL ANALYSIS. APPLY AMENDMENTS IN A MANNER CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS. ANY ORGANIC AMENDMENTS SHALL HAVE A pH BETWEEN 4.5 AND 5.5 UNLESS OTHERWISE RECOMMENDED.
11. PLANT REQUIREMENTS: ALL PLANTS SHALL CONFORM IN SIZE AND GRADE TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 (LATEST EDITION). THE OWNER OR LANDSCAPE ARCHITECT WILL ALLOW SUBSTITUTIONS ONLY UPON WRITTEN APPROVAL. SIZES SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE DRAWINGS. ALL OVERSTORY TREES PLANTED ALONG PARKING AREAS, SIDEWALKS AND PEDESTRIAN ACCESSSES SHALL NOT BRANCH BELOW 10' FEET IF THE TREE CALIPER IS 3" INCHES OR GREATER. ALL PLANT MATERIALS ARE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT.
12. SEEDING MIXTURES: REFER TO SEED MIX NOTES. SEEDED AREA SHALL BE ACCEPTED WHEN SEED AREA ACHIEVES 90% COVERAGE.
13. ALL SLOPES STEEPER THAN 3:1 RECEIVING A SEED MIX SHALL BE COVERED WITH AN EROSION CONTROL BLANKET OF STRAW FIBER AND BIODEGRADABLE OR PHOTODEGRADABLE NETTING.
14. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEDED WITH THE LAWN SEED MIX.

## LANDSCAPE ARCHITECT'S CERTIFICATION

I, Mark W. Heeb, RLA, a registered Landscape Architect in the Commonwealth of Pennsylvania, hereby certify that to the best of my knowledge this plan is accurate and correct as indicated.

Mark W. Heeb, RLA

Reg. No. LA002549



REVISIONS  
N.  
1 12/06/2022  
2 01/03/2023  
3 03/17/2025

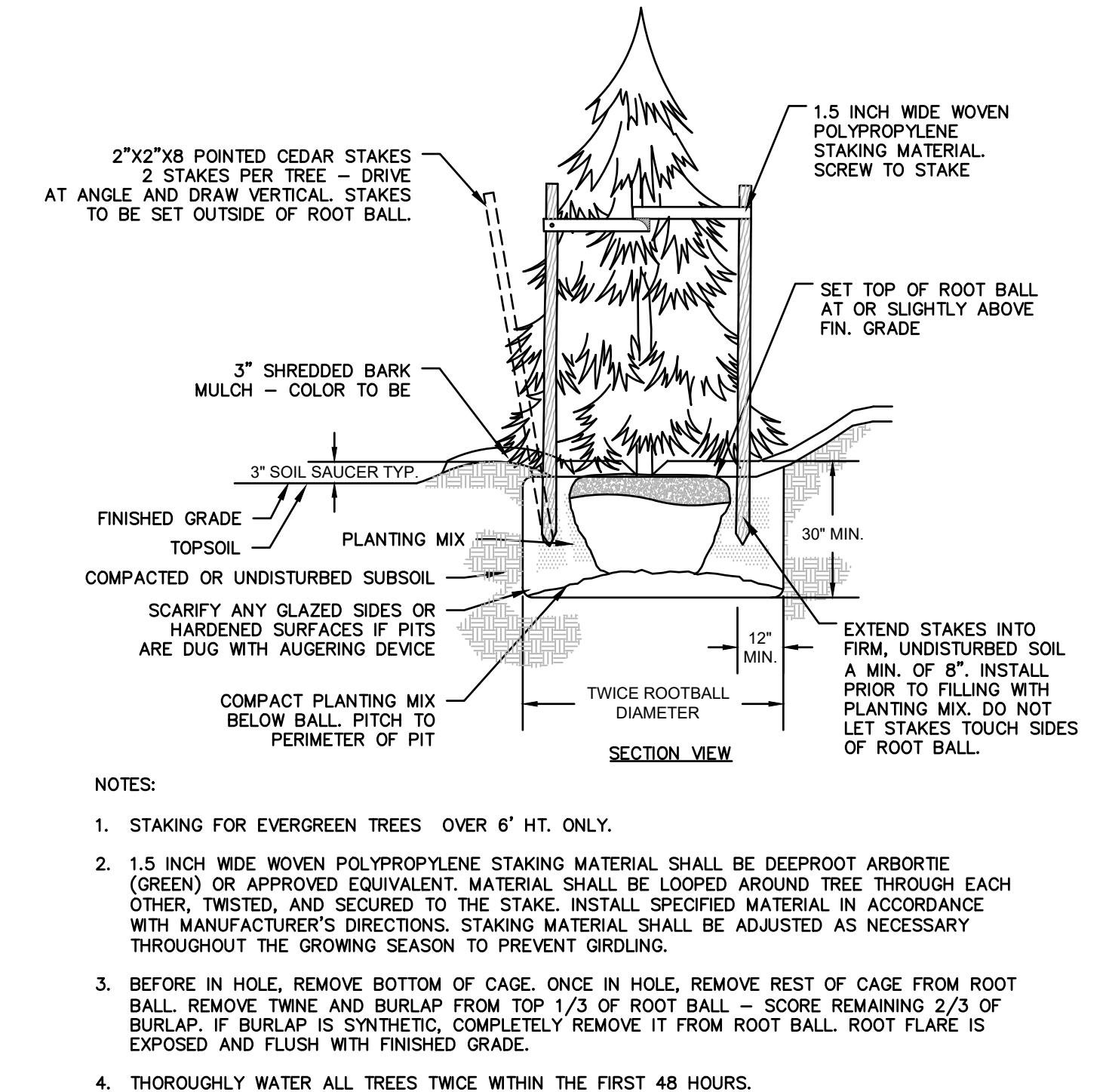
Designer M.H.  
Drafter M.H.  
Reviewer A.J.D.  
Scale 1" = 20'  
Project No. 220518  
Date 10/14/2022  
CAD File: LL2218\_P01  
Sheet Title LANDSCAPING PLAN  
Sheet Number LL-1  
Graphic Scale 20 10 0 20  
Scale in Feet  
Xref (6): BD1, XP1, XR2, XR3, XR4, ZC201, ZC202

CLOUD10 CAR WASH  
1852 CAMP HILL, LLC  
3556 GETTYSBURG ROAD  
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

**HYLAND**  
Engineering

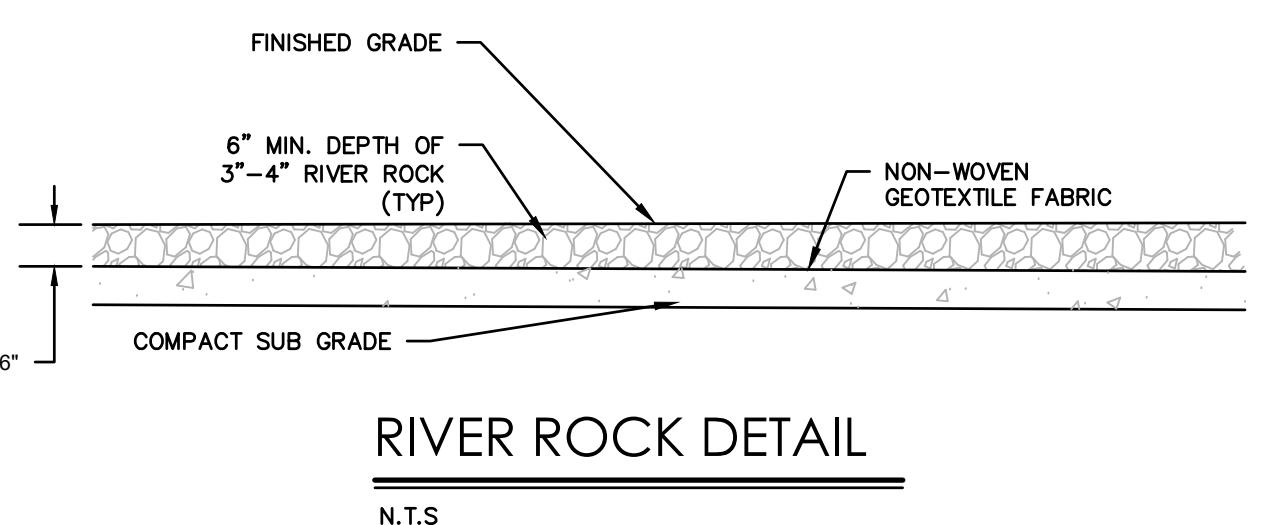
718 North Front Street  
Wormleysburg, PA 17043  
(717) 723-3326

10 OF 20



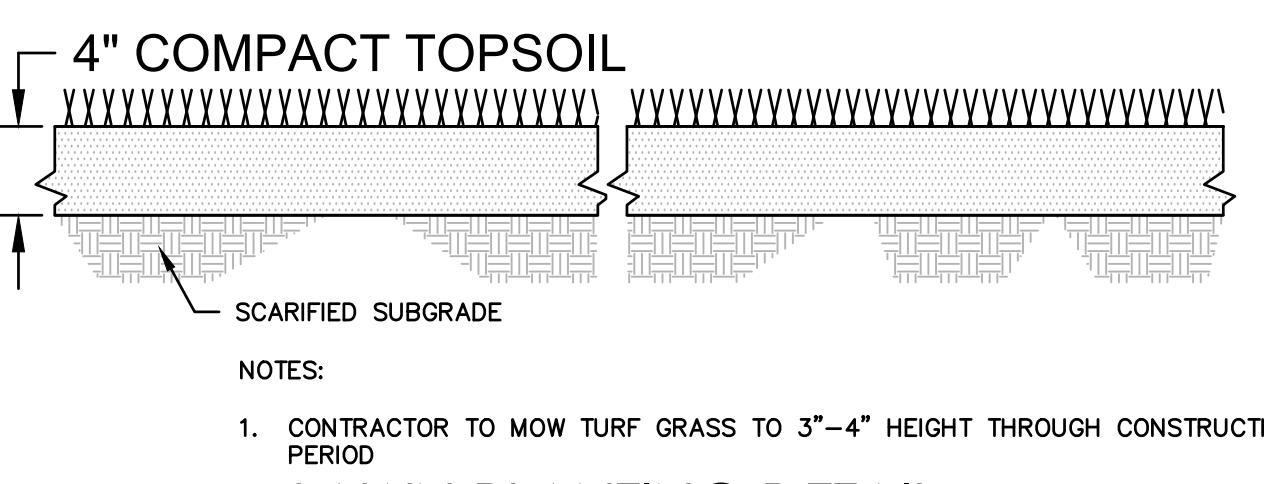
### EVERGREEN TREE PLANTING

N.T.S.



### RIVER ROCK DETAIL

N.T.S.



### LAWN PLANTING DETAIL

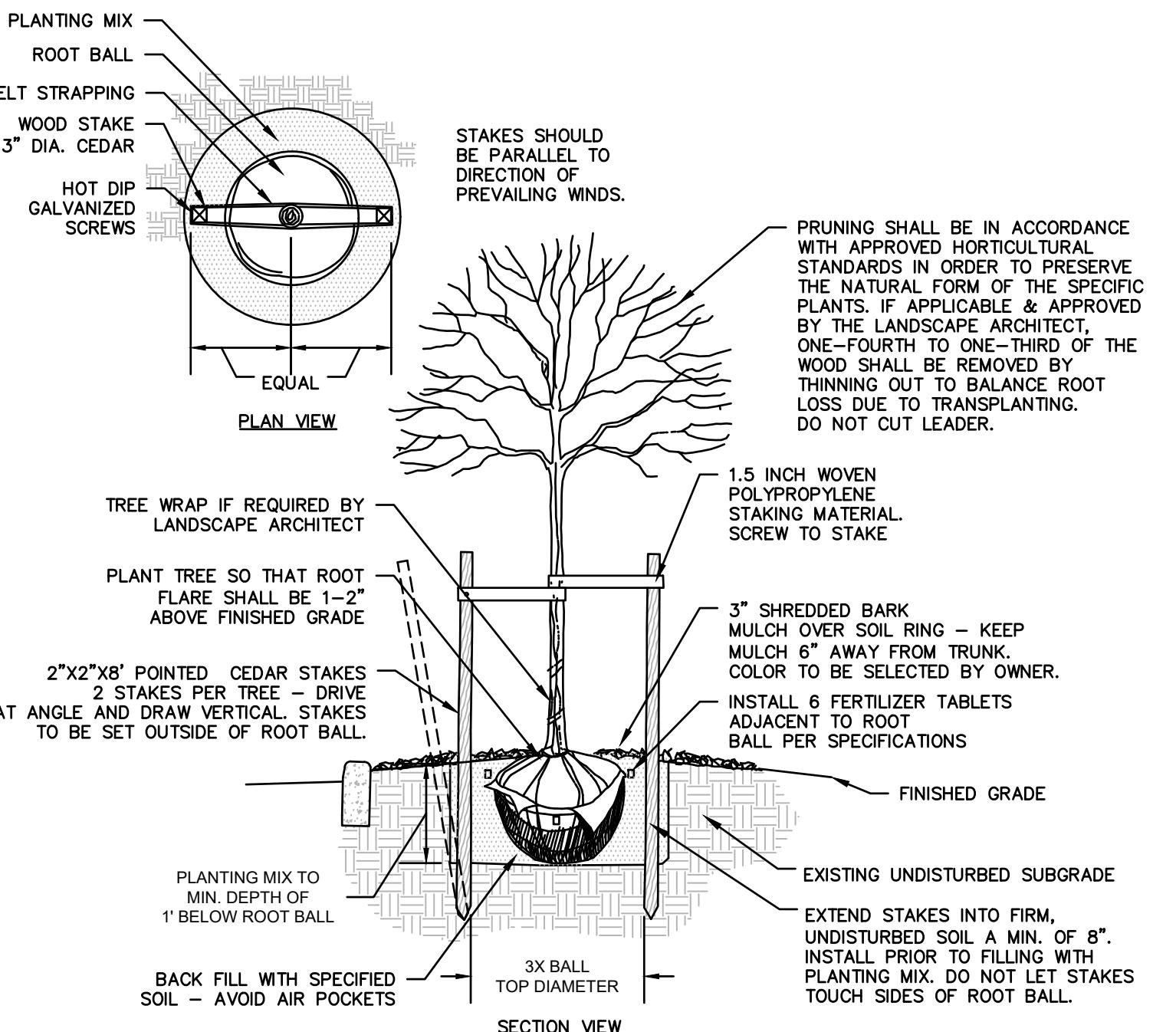
N.T.S.

### SEEDING MIXTURES

A. LAWN SEEDING MIXTURE  
15 % PERENNIAL RYEGRASS (BLEND OF 3 IMPROVED HYBRIDS)  
25 % FINE LEAF OR CREEPING FESCUE (BLEND OF 3 IMPROVED HYBRIDS)  
60 % KENTUCKY BLUEGRASS (BLEND OF 3 IMPROVED HYBRIDS)  
SEEDING RATE: 5 LBS/1,000 S.F.  
SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 15,  
UNLESS OTHERWISE APPROVED BY OWNER.

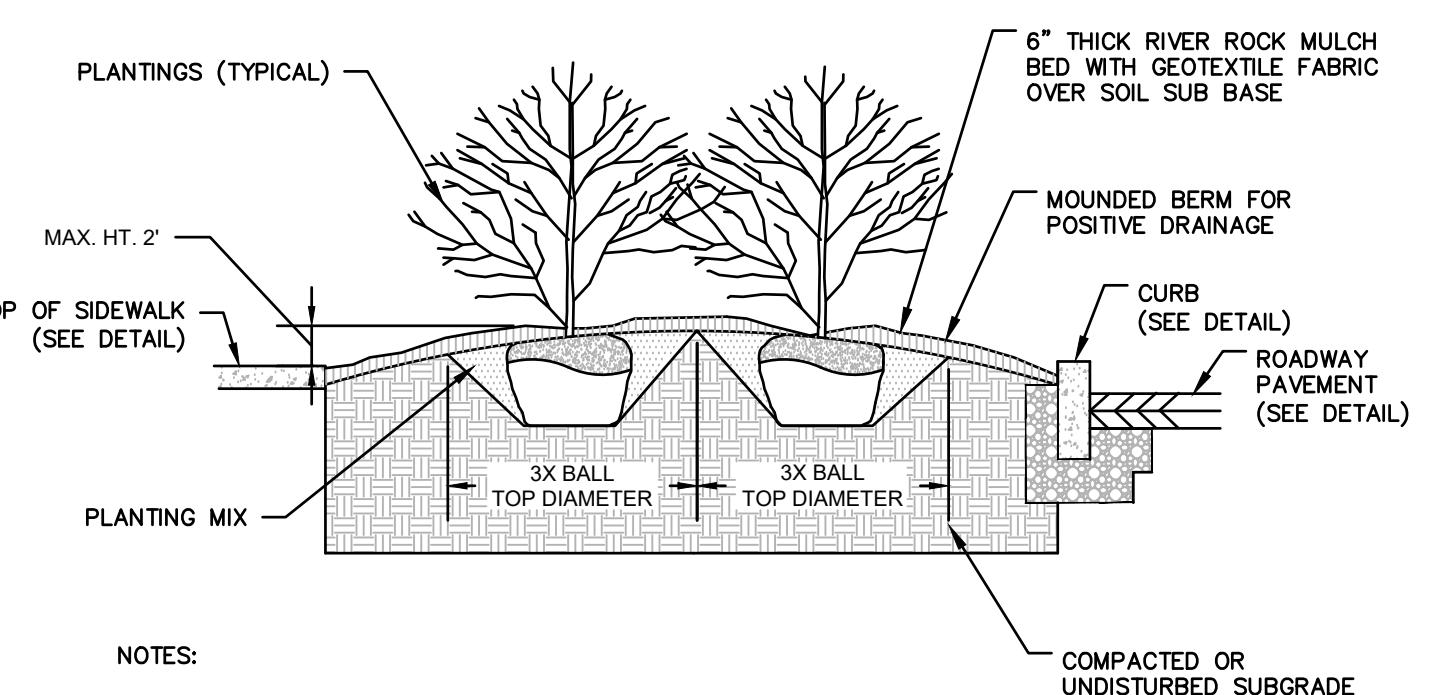
B. SLOPE SEEDING MIXTURE (3% SLOPES OR GREATER)  
CREEPING RED FESCUE (FESTUCA RUBRA) (42 %)  
EXPRESS PERENNIAL RYEGRASS (LOLIUM PERENNE) (34 %)  
BIRDFOOT TREFOIL\* (LOTUS CORNULICULUS VAR. ARvensis) (8 %)  
ALSIKE CLOVER (TRIFOLIUM HYBRIDUM) (8 %)  
RED TOP (AGROSTIS GIGANTEA) (8 %)  
LEGUMINOUS SEED TO BE INCULCATED  
PURE LIVE SEED: 96-98 %  
APPLICATOR RATE: 10-20 LBS/1,000 S.F.  
FERTILIZER TYPE: 10-20-20  
FERTILIZER RATE OF APPLICATION: 400 LBS/ACRE  
LIMING RATE: 500 LBS/ACRE (PULVERIZED AGRI. LIMESTONE)  
MULCH TYPE: WOOD CELLULOSE FIBER  
MULCH RATE: 1400 LBS/ACRE  
ANCHOR MATERIAL: EC3300 POLYMER TACKIFIER  
ANCHORING METAL: STAINLESS STEEL, MIX & SPRAY  
ANCHORING RATE OF APPLICATION: 3 LBS/ACRE  
SEEDING SEASON DATES: MARCH 1-MAY 15 AND SEPT. 1-OCTOBER 15

C. TEMPORARY SEEDING MIXTURE TYPE 1 - TOPSOIL STOCKPILES ANNUAL RYEGRASS (50 %) PERENNIAL RYEGRASS (50 %) % PURE LIVE SEED: 95 % APPLICATION RATE: 4LBS/MSF FERTILIZER TYPE: 5-5-5 FERTILIZER APPLICATION RATE: 1000 LBS/ ACRE LIMING RATE: 1 TON / ACRE MULCH TYPE: STRAW MULCH RATE: 3 TONS/ACRE



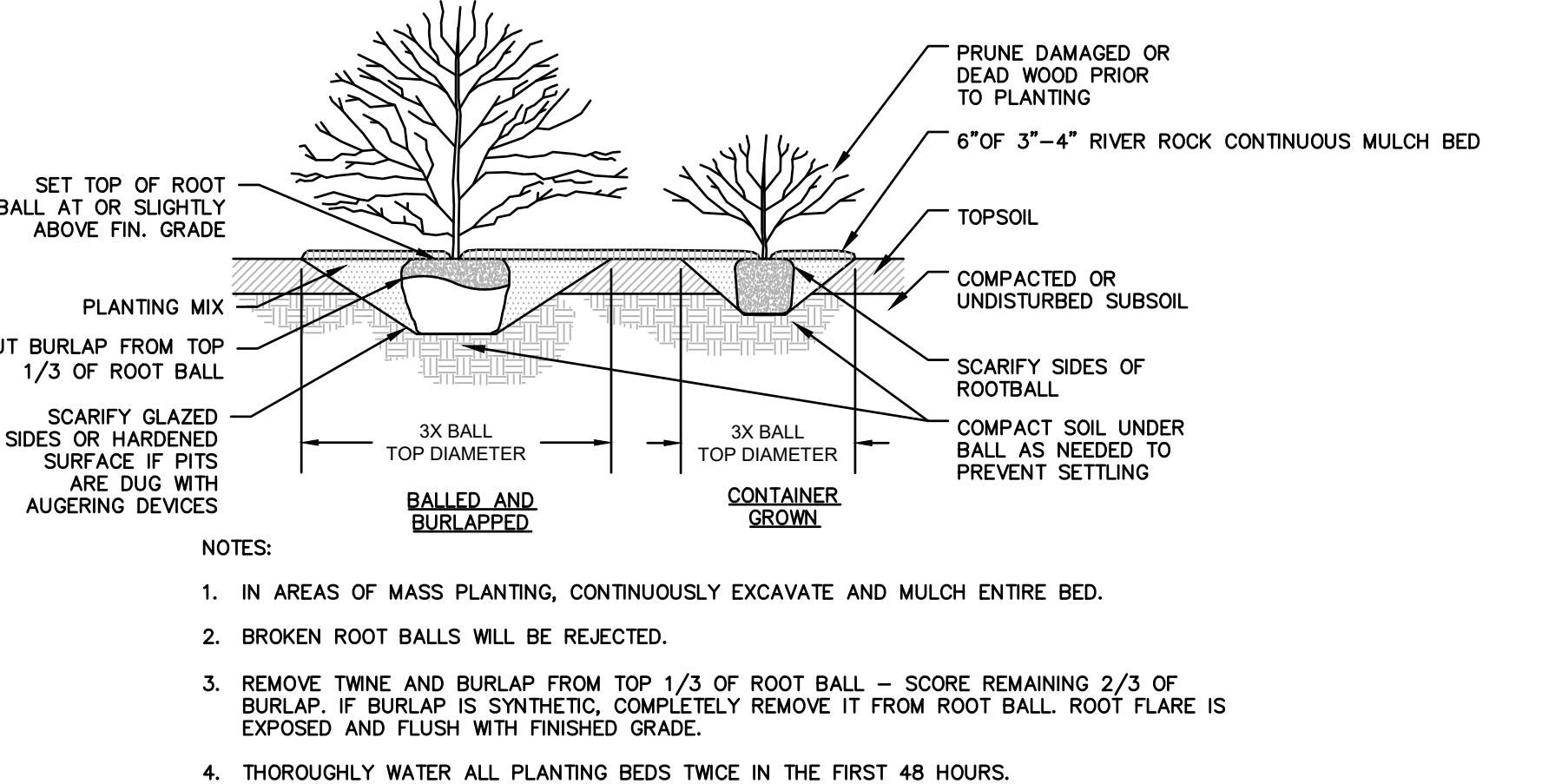
### DECIDUOUS TREE PLANTING

N.T.S.



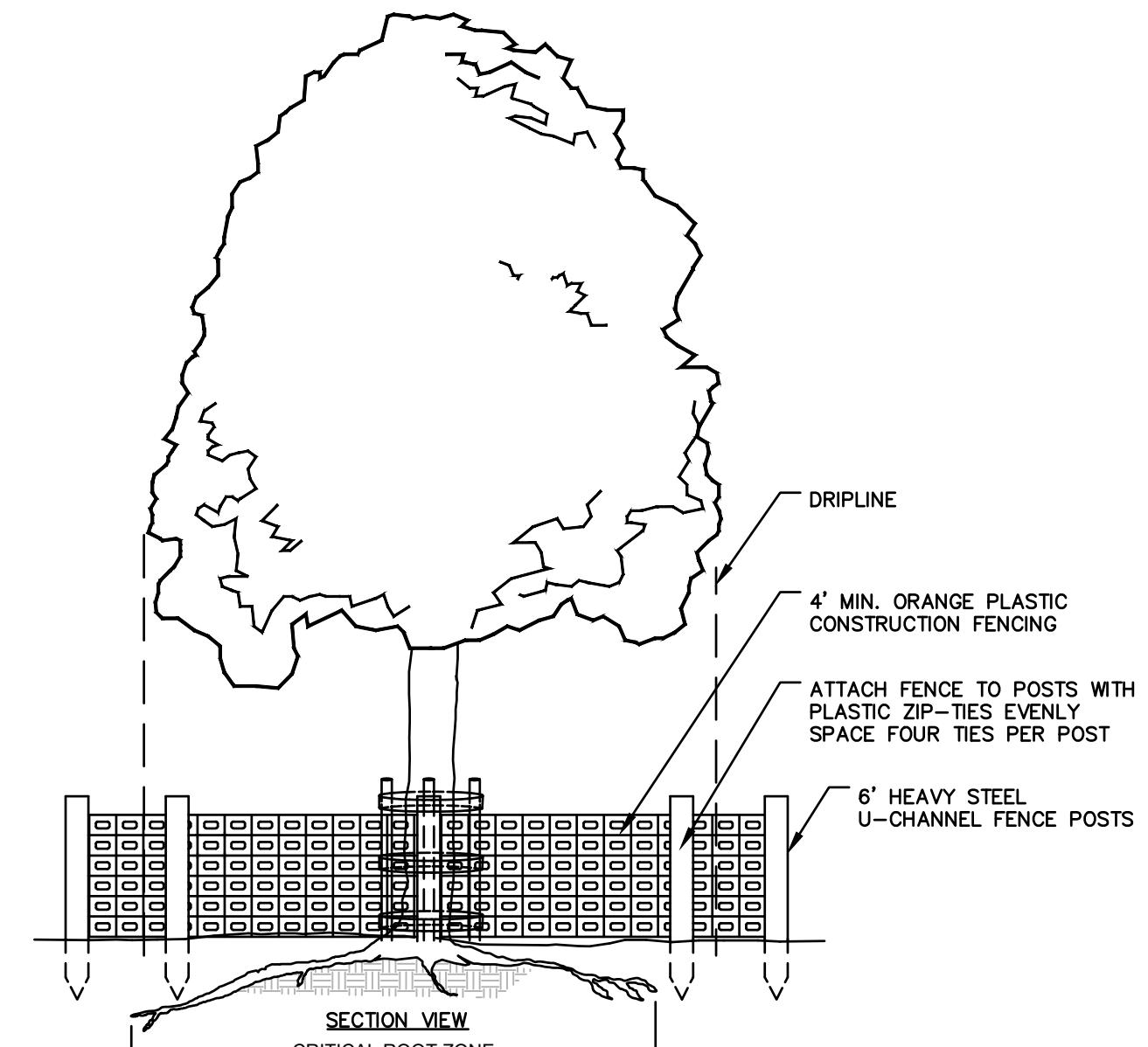
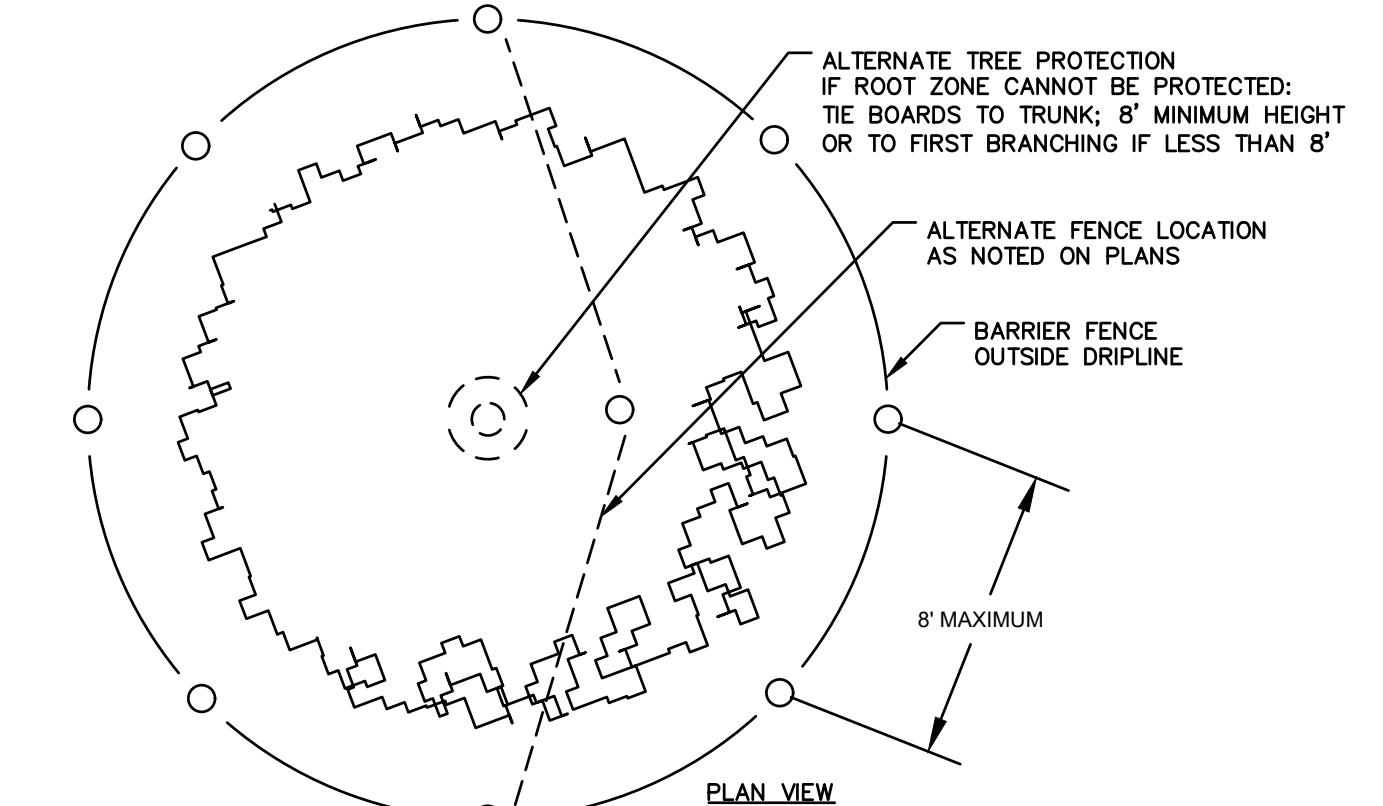
### SECTION OF PLANTED ISLAND

N.T.S.



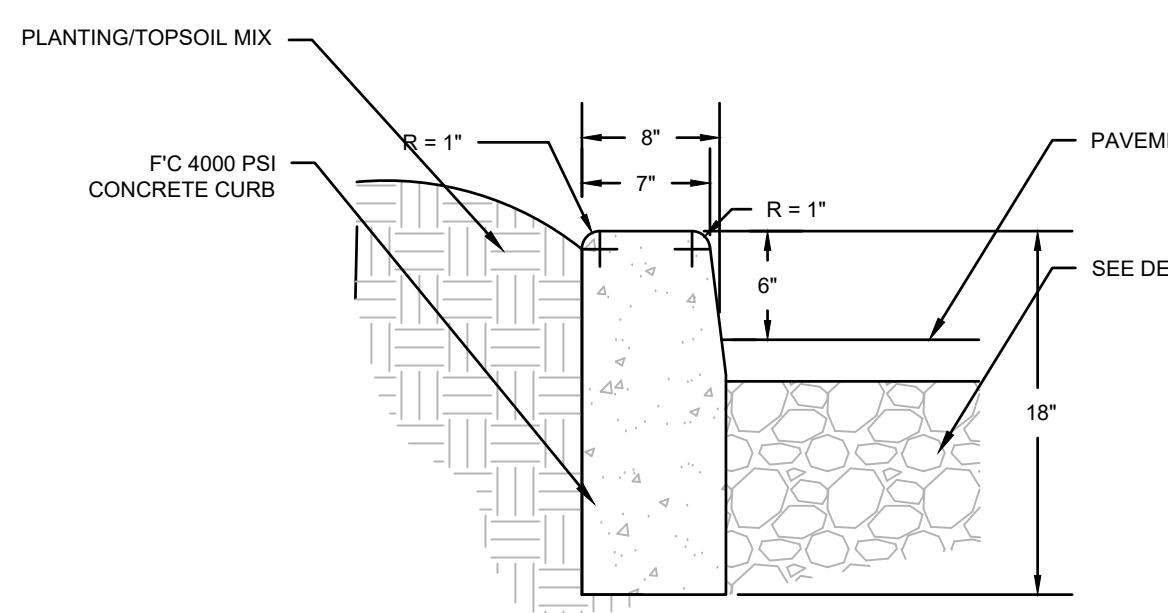
### SHRUB PLANTING

N.T.S.



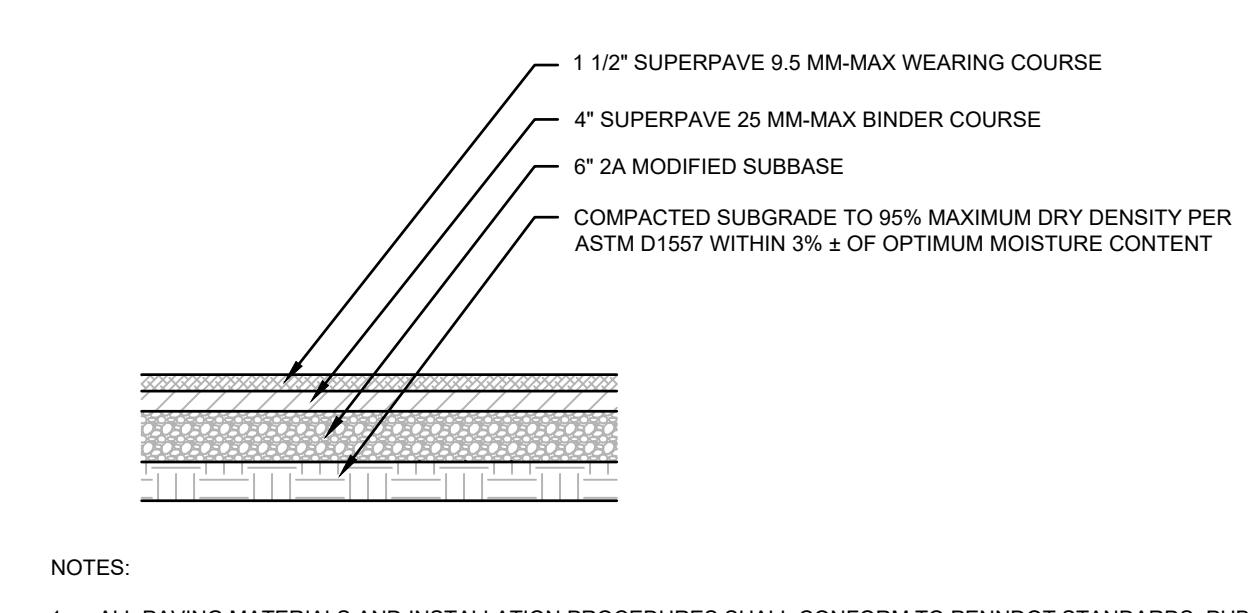
### TREE PROTECTION

N.T.S.



**6" REVEAL CONCRETE CURB**

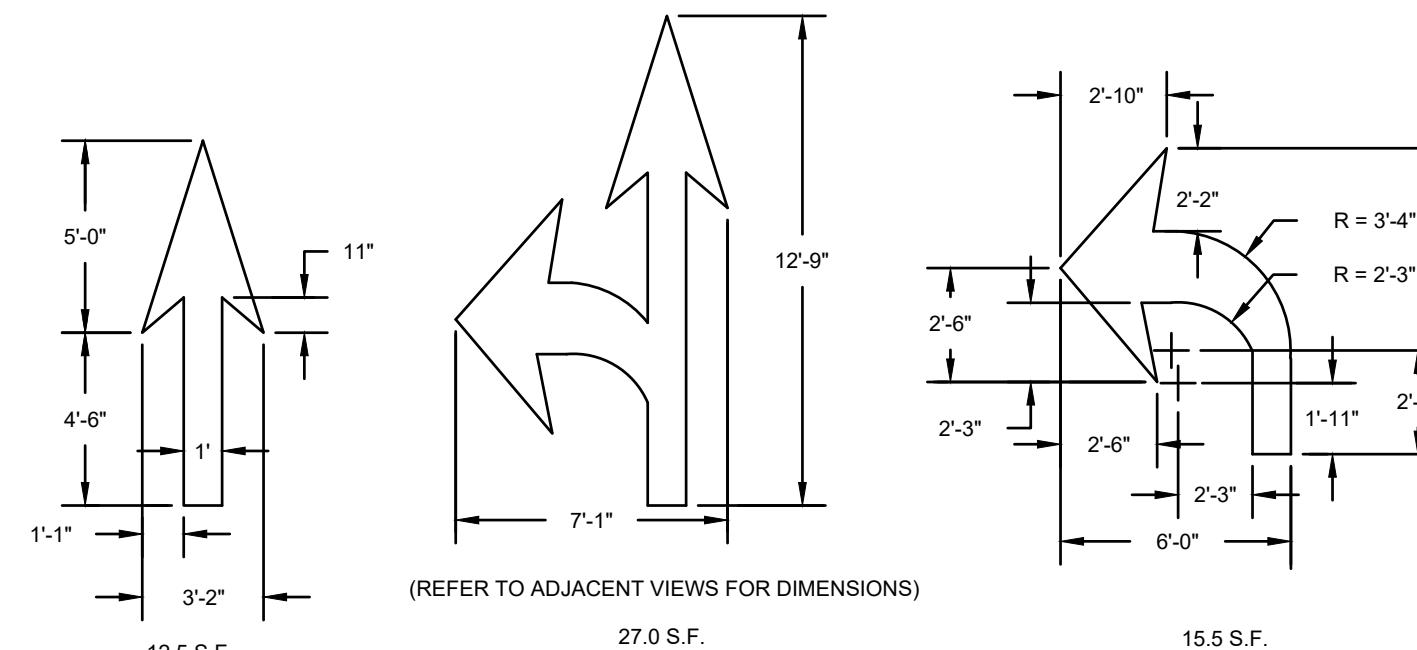
N.T.S.



NOTES:  
1. ALL PAVING MATERIALS AND INSTALLATION PROCEDURES SHALL CONFORM TO PENNDOT STANDARDS, PUB. 408.

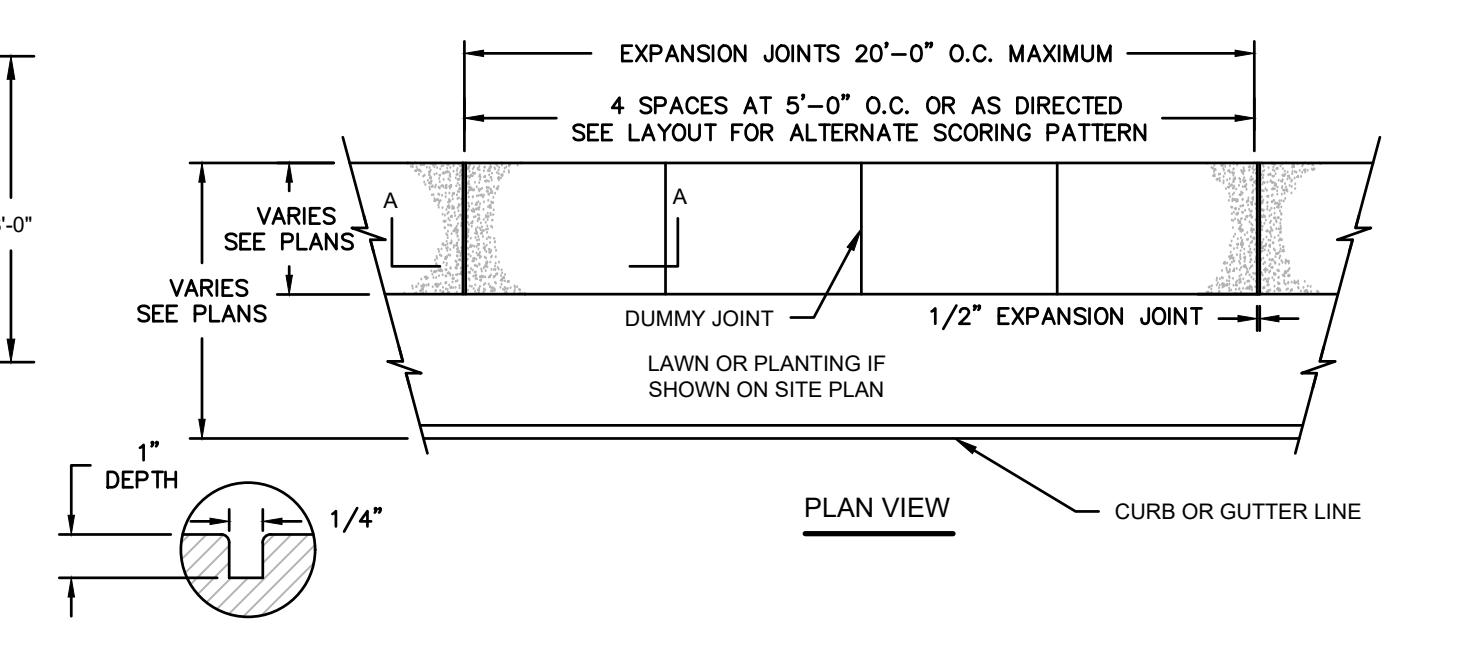
**STANDARD DUTY BITUMINOUS  
PAVING DETAIL ON-SITE**

N.T.S.

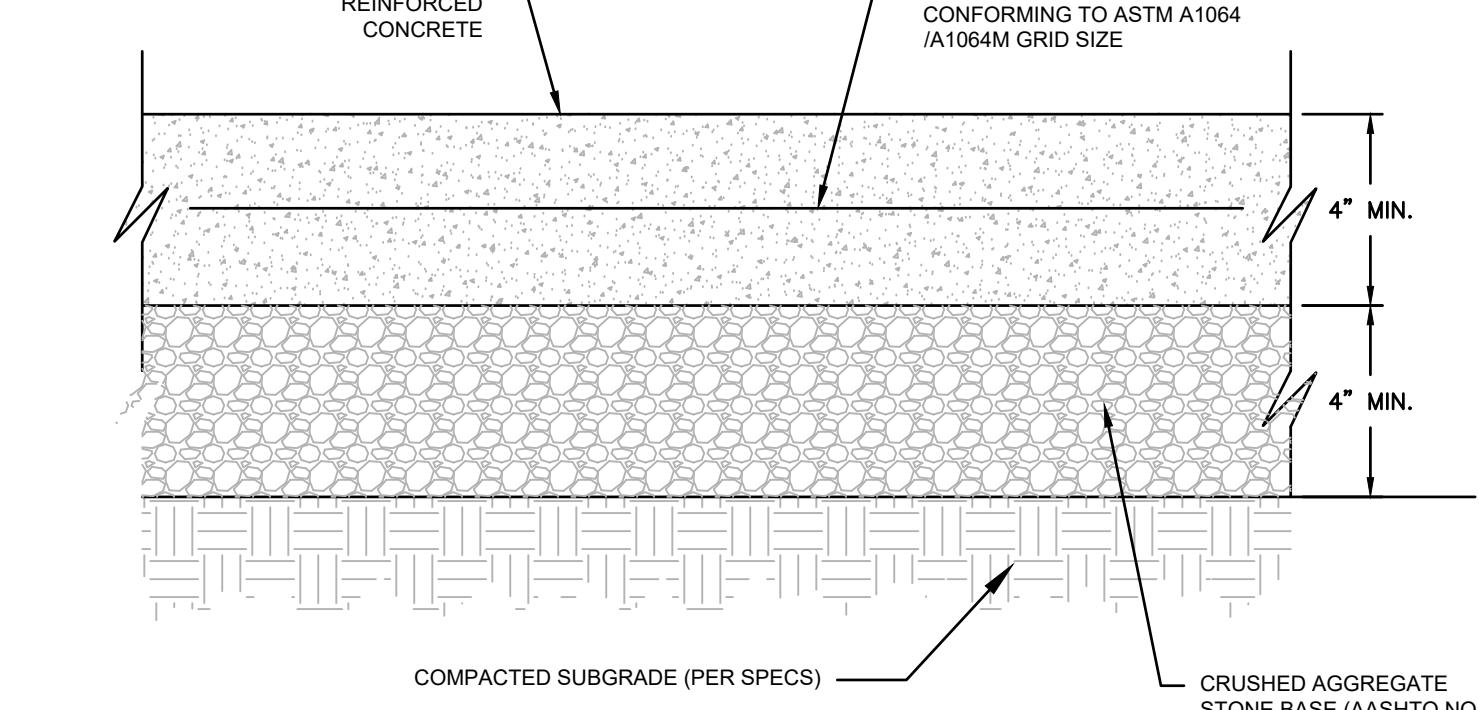


**PAVEMENT ARROW DETAILS**

N.T.S.



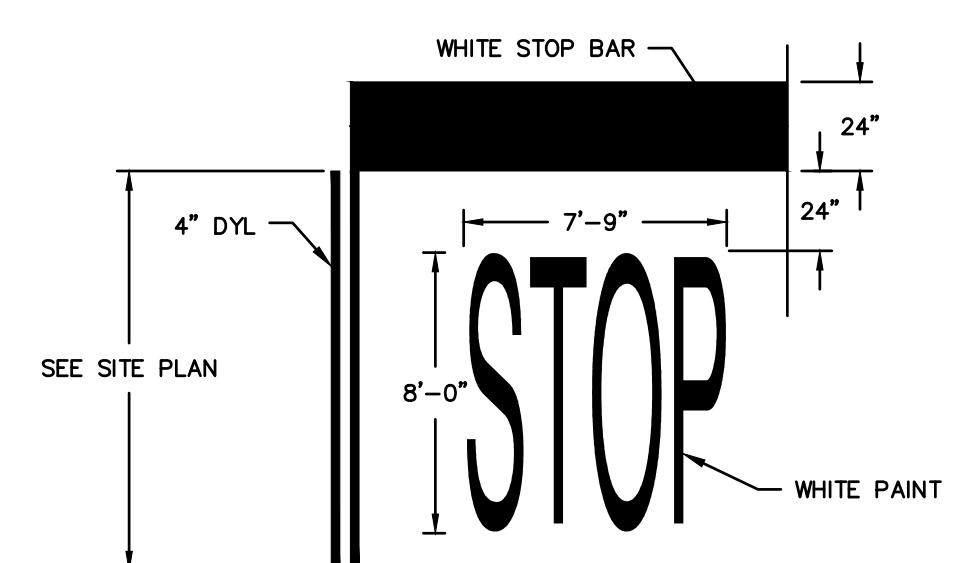
DUMMY JOINT



NOTES:  
1. 1/4" WIDE x 1" DEEP DUMMY JOINTS SCORED AT 5'-0" INTERVALS.  
2. CONSTRUCTION EXPANSION JOINTS SPACED EVERY 20' AND BETWEEN CURB AND SIDEWALK WHERE ADJACENT  
3. SIDEWALK TO BE BROOM FINISHED  
4. REFER TO SITE PLAN FOR SIDEWALK WIDTH

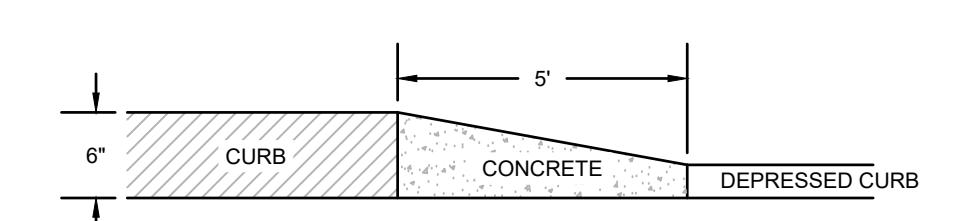
**SIDEWALK DETAIL**

N.T.S.



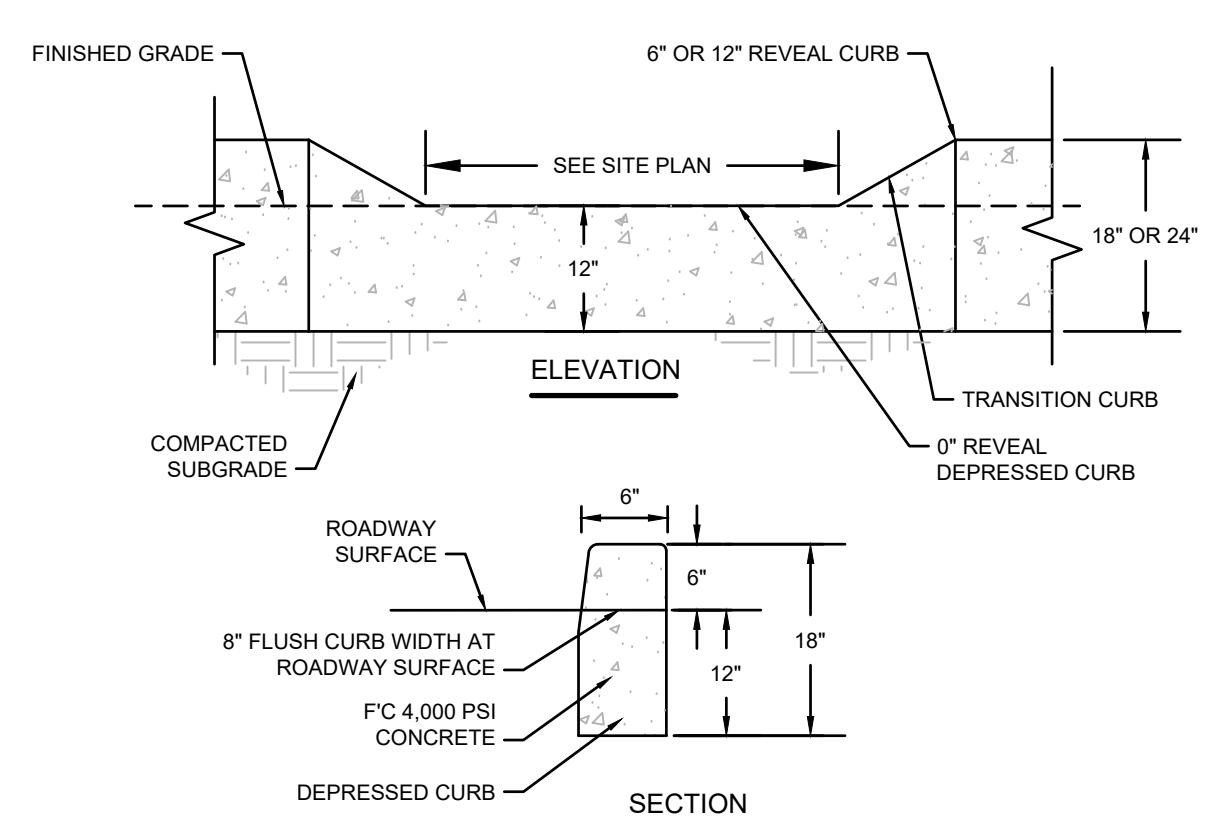
**STOP BAR DETAIL**

N.T.S.



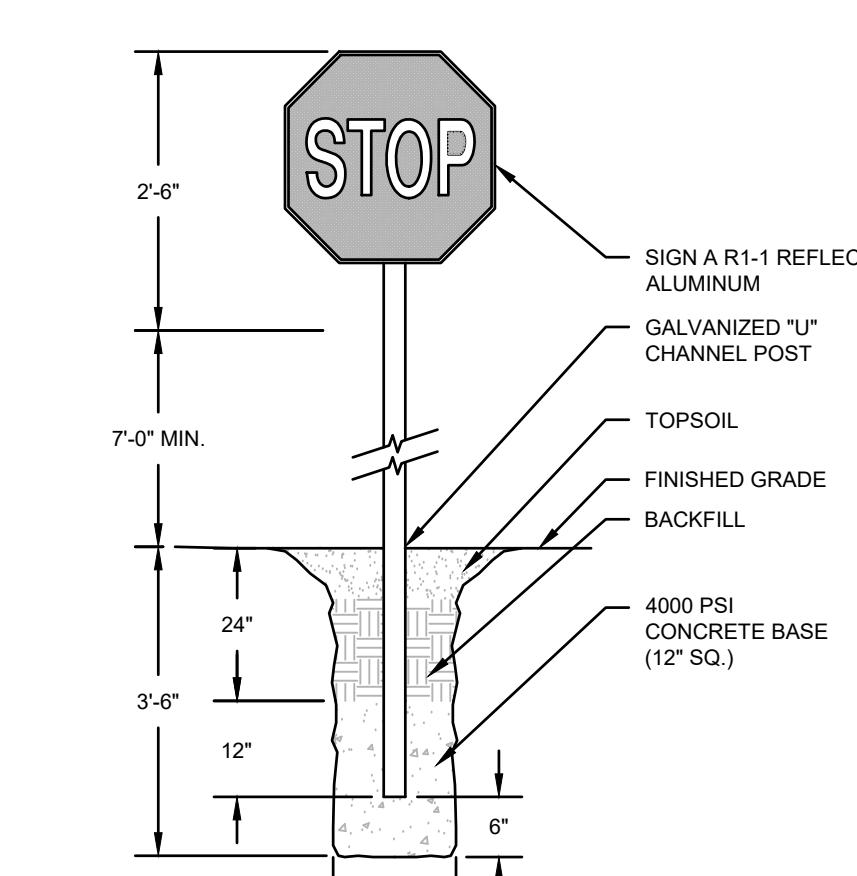
**6" CURB REVEAL TAPER TO 0" CURB  
REVEAL TAPER DEPRESSED CURB DETAIL**

N.T.S.



**6" REVEAL / DEPRESSED  
CONCRETE CURB**

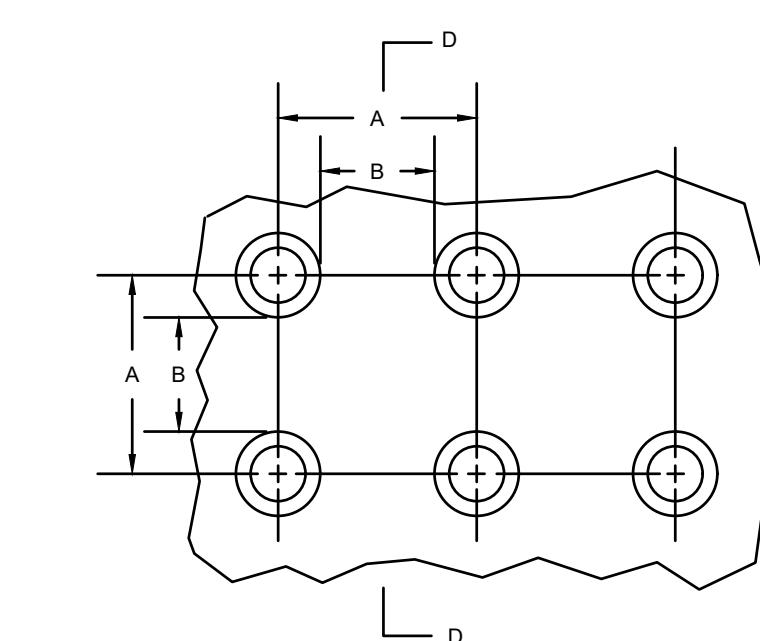
N.T.S.



NOTES:  
1. CONSTRUCT SIGN IN ACCORDANCE WITH PENNDOT SPECIFICATIONS.

**STOP SIGN DETAIL**

N.T.S.



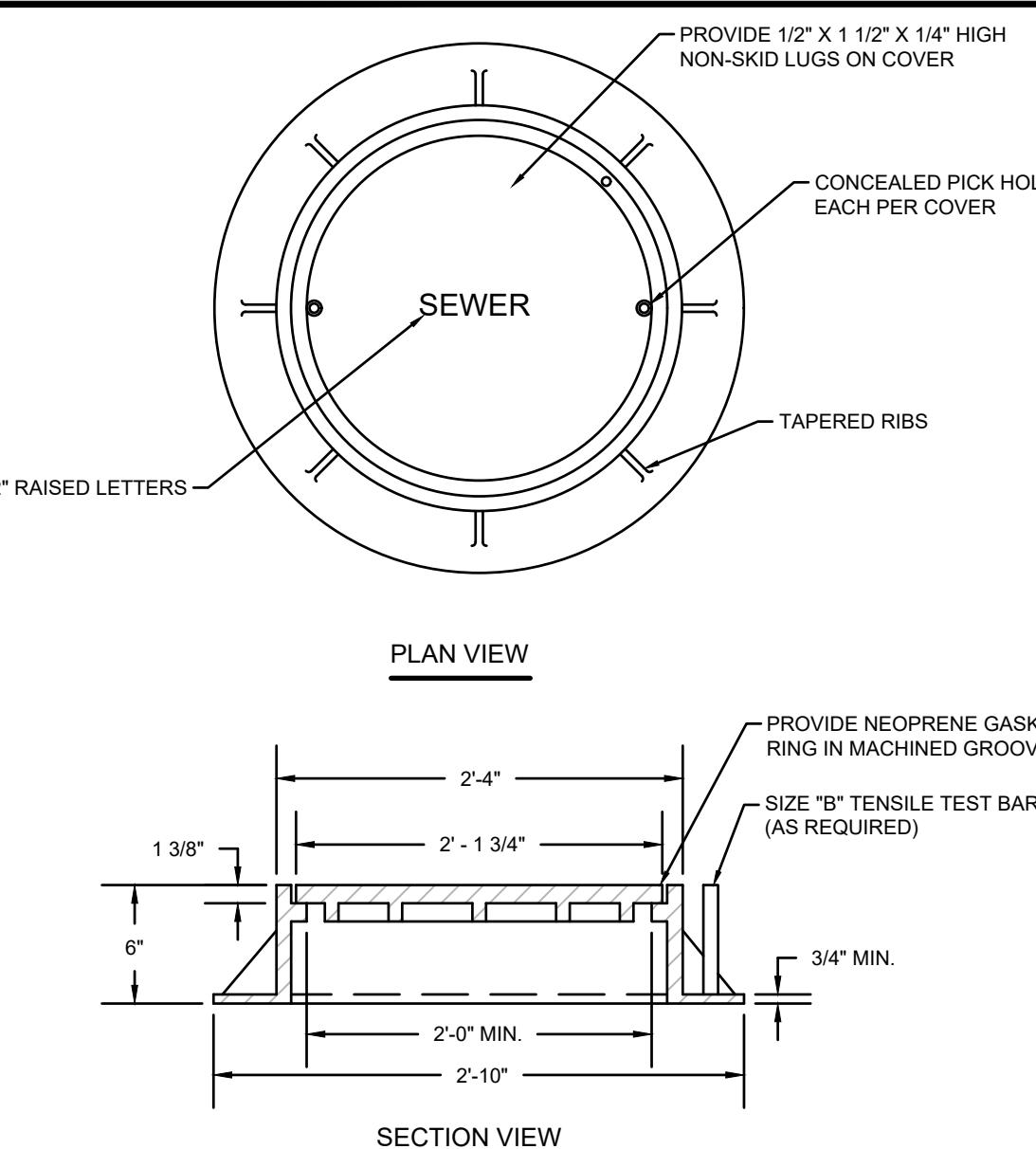
**DETECTABLE TRUNCATED DOME  
DETECTABLE WARNING SURFACE**

N.T.S.

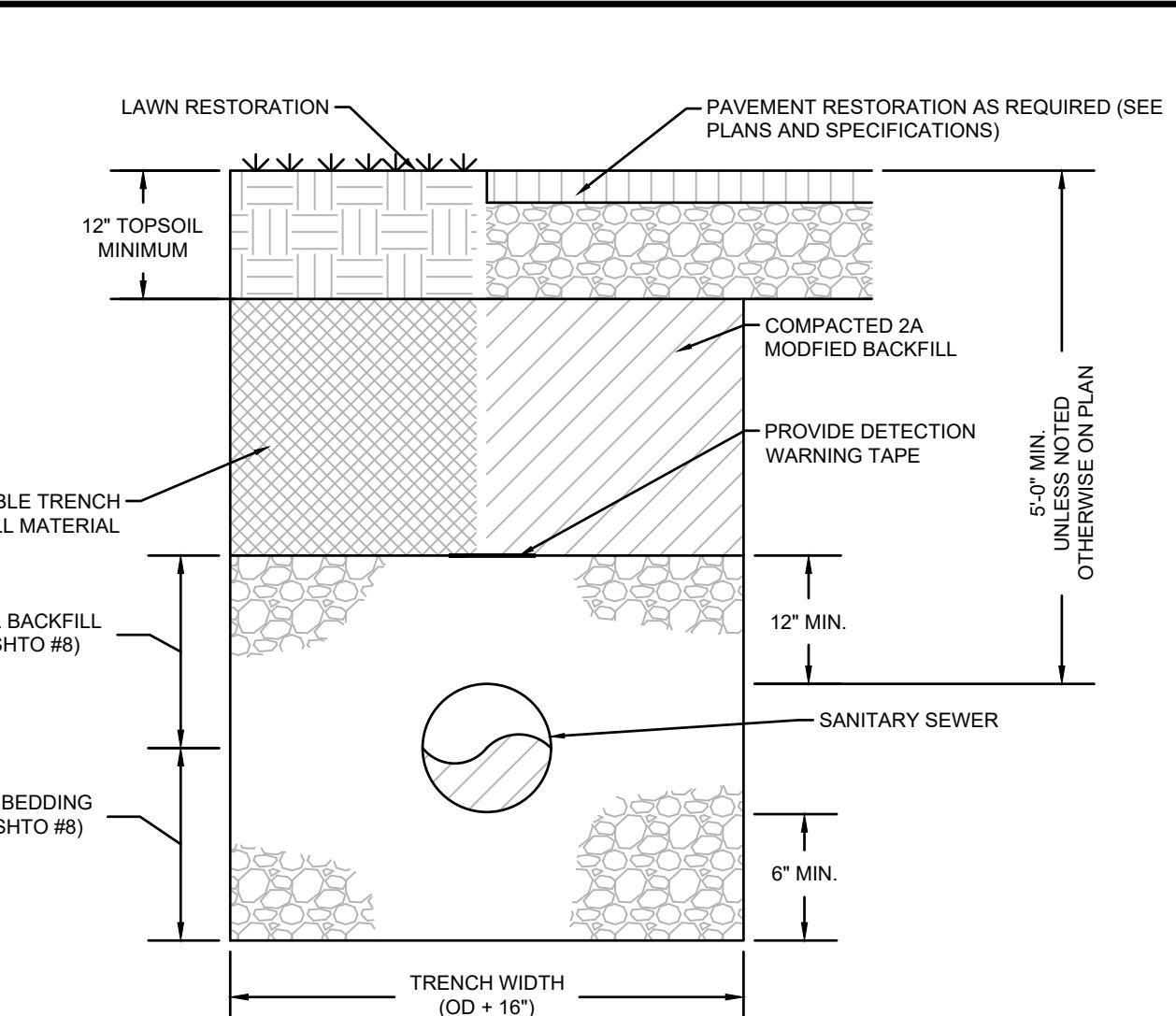
| REVISIONS |            |  |
|-----------|------------|--|
| 1         | 1/20/2022  | REVISION 1, Reason<br>REVISED PER TOWNSHIP & COUNTY COMMENTS |
| 2         | 01/03/2023 | REVISED PER APPROVED HOP ISSUED FOR CONSTRUCTION             |
| 3         | 03/17/2025 | REVISED PER APPROVED HOP ISSUED FOR CONSTRUCTION             |
|           |            |  |

| Designer     | C.J.S.       |
|--------------|--------------|
| Drafter      | C.J.S.       |
| Reviewer     | A.J.D.       |
| Scale        | N.T.S.       |
| Project No.  | 220518       |
| Date         | 10/14/2022   |
| CAD File:    | DS2218_01    |
| Sheet Title  | SITE DETAILS |
| Sheet Number |              |

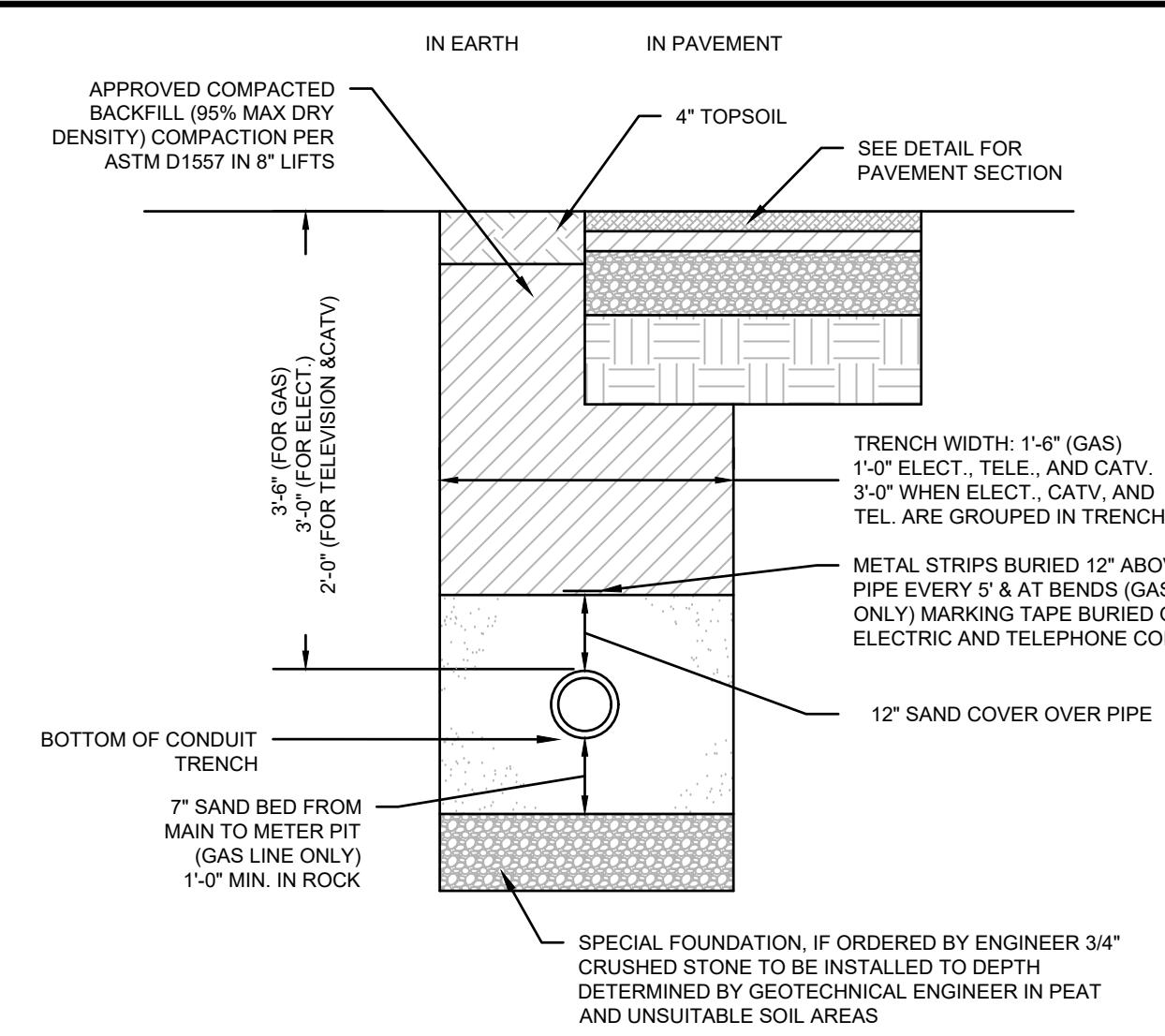
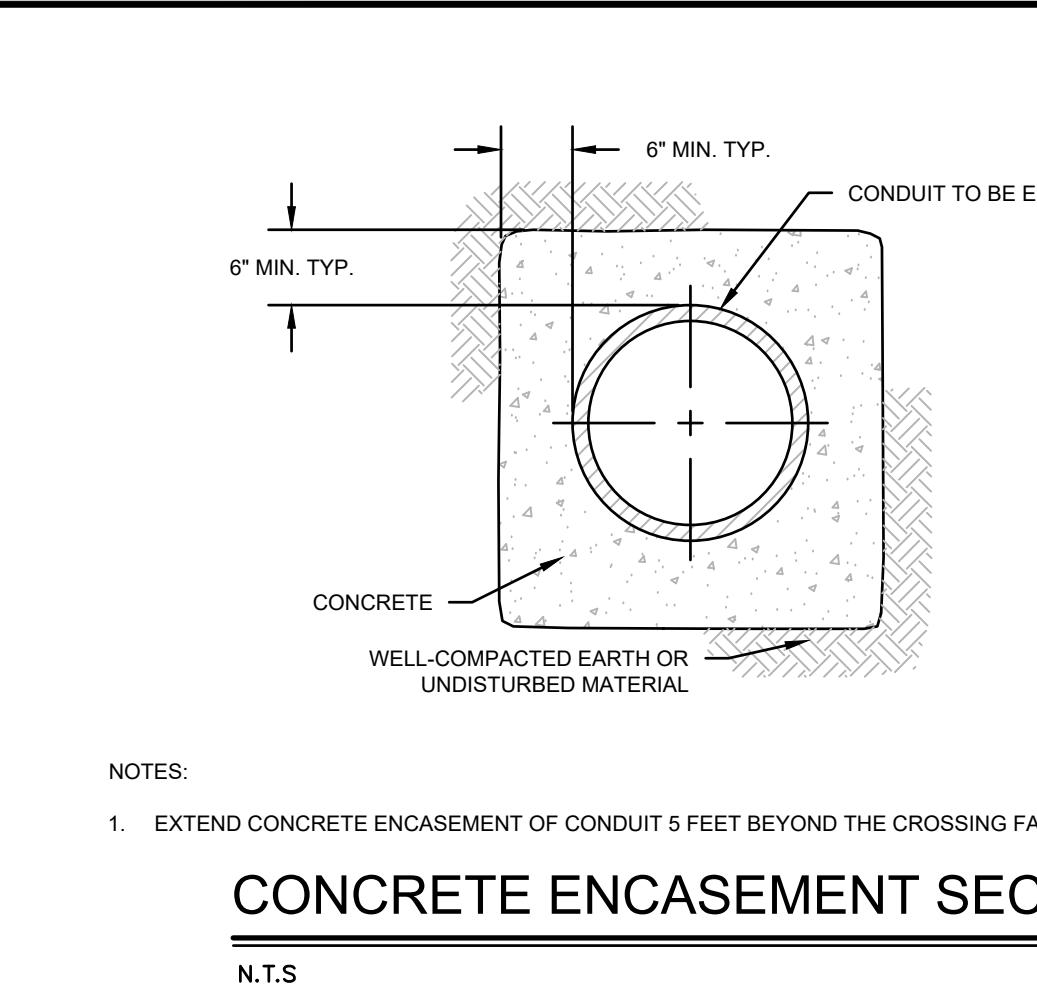




STANDARD MANHOLE FRAME AND COVER

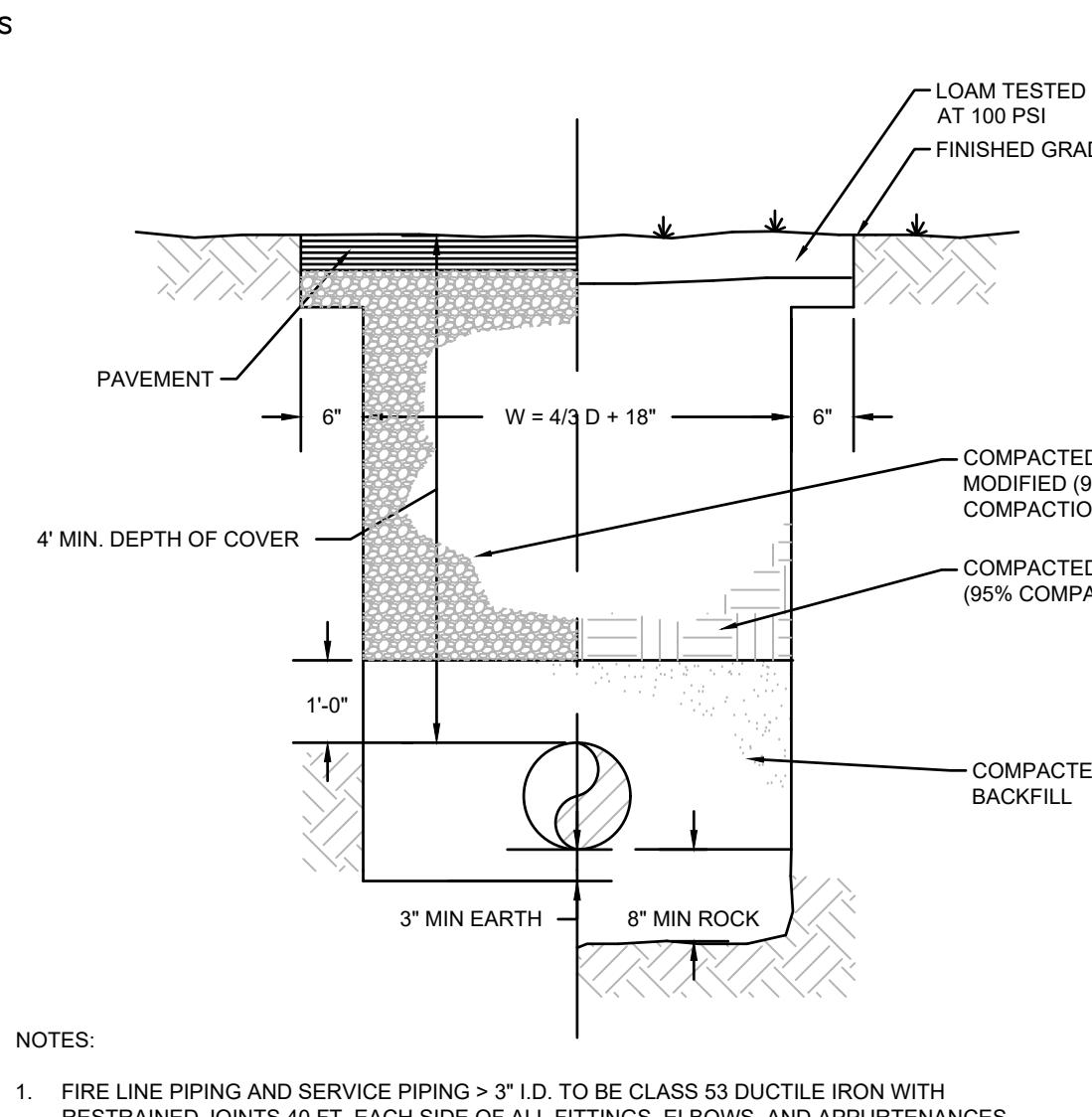
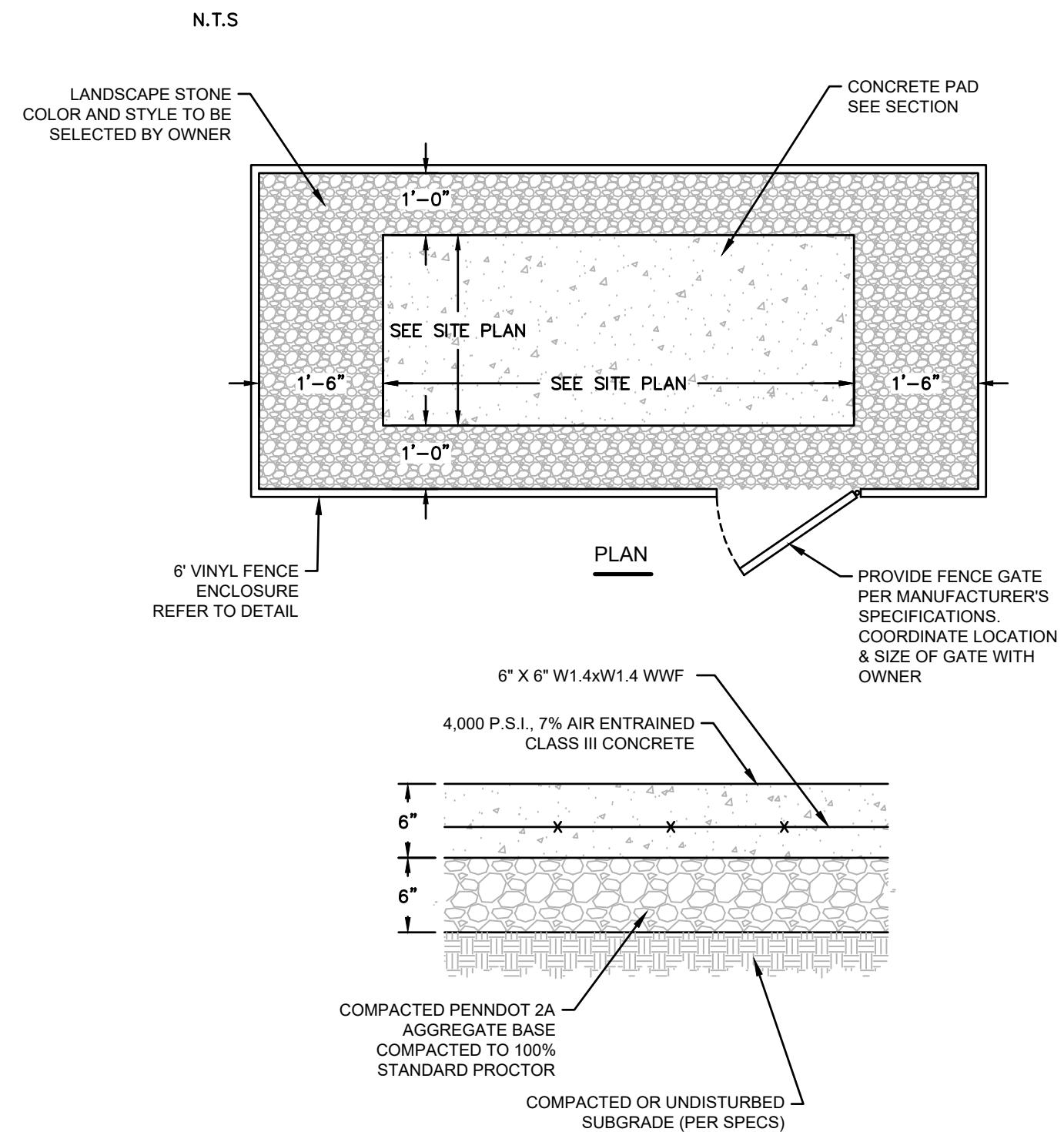


SANITARY SEWER TRENCH DETAIL

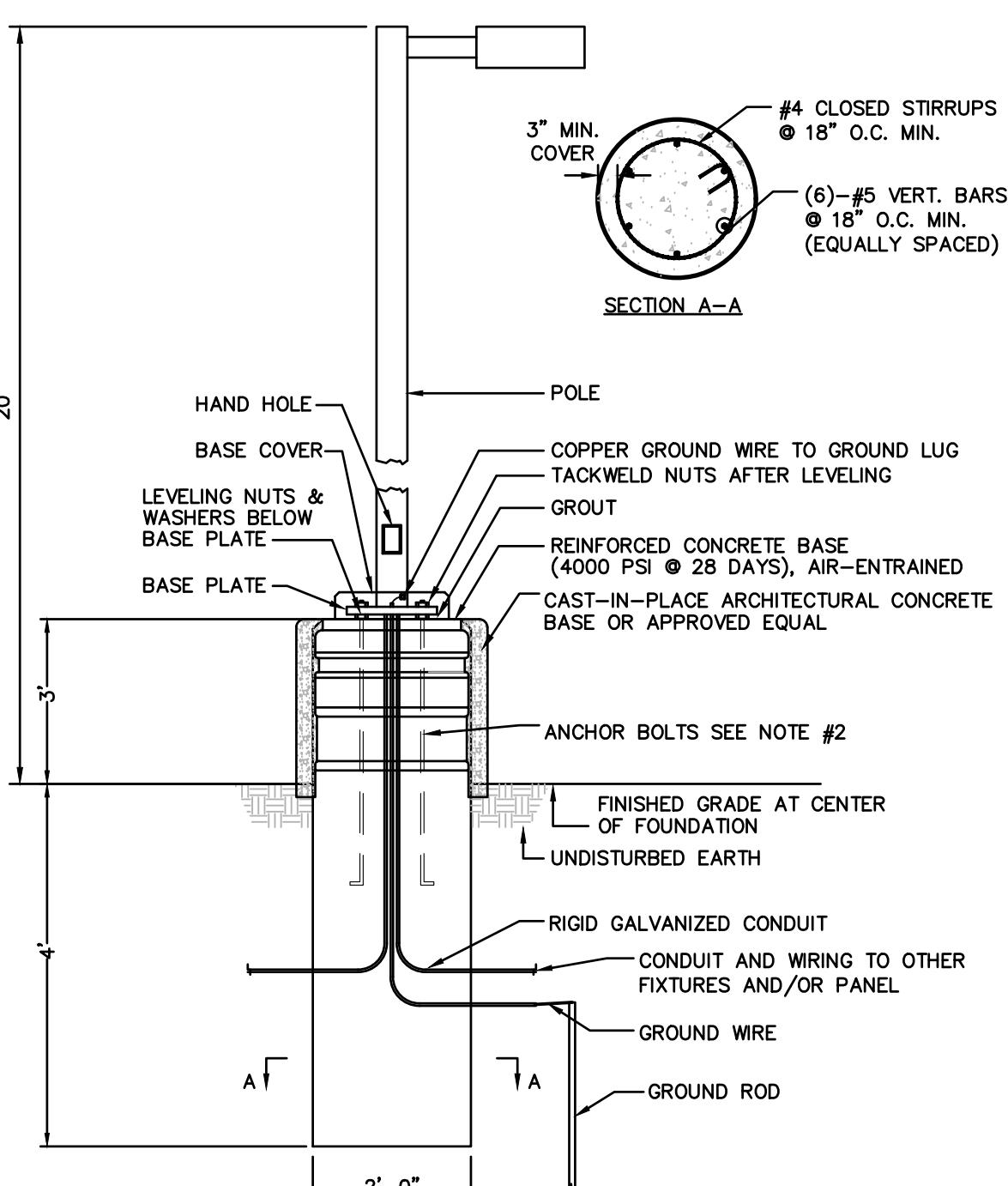

 ELECTRICAL, TELEPHONE  
AND GAS TRENCH DETAIL


CONCRETE ENCASEMENT SECTION

N.T.S.

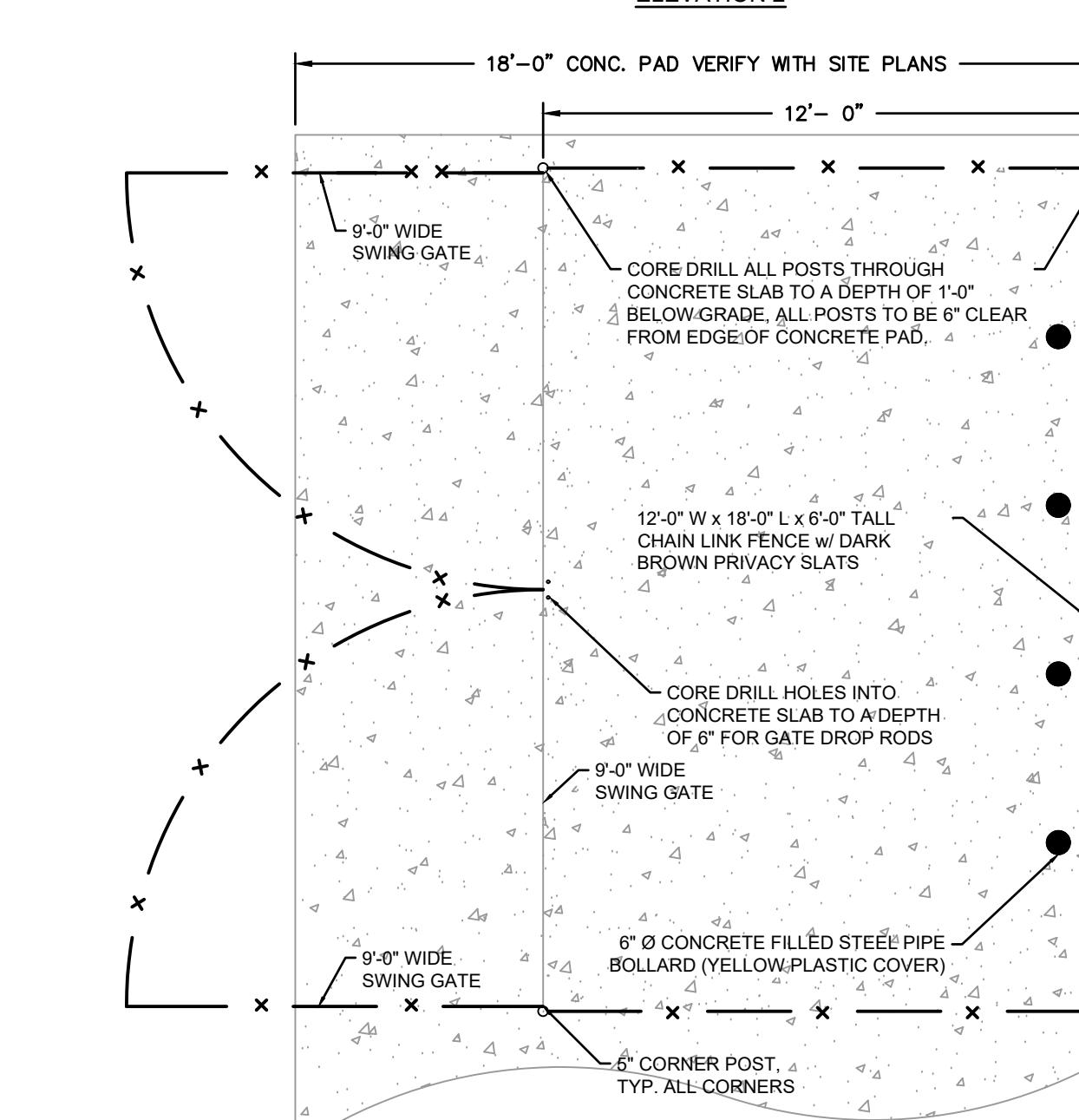
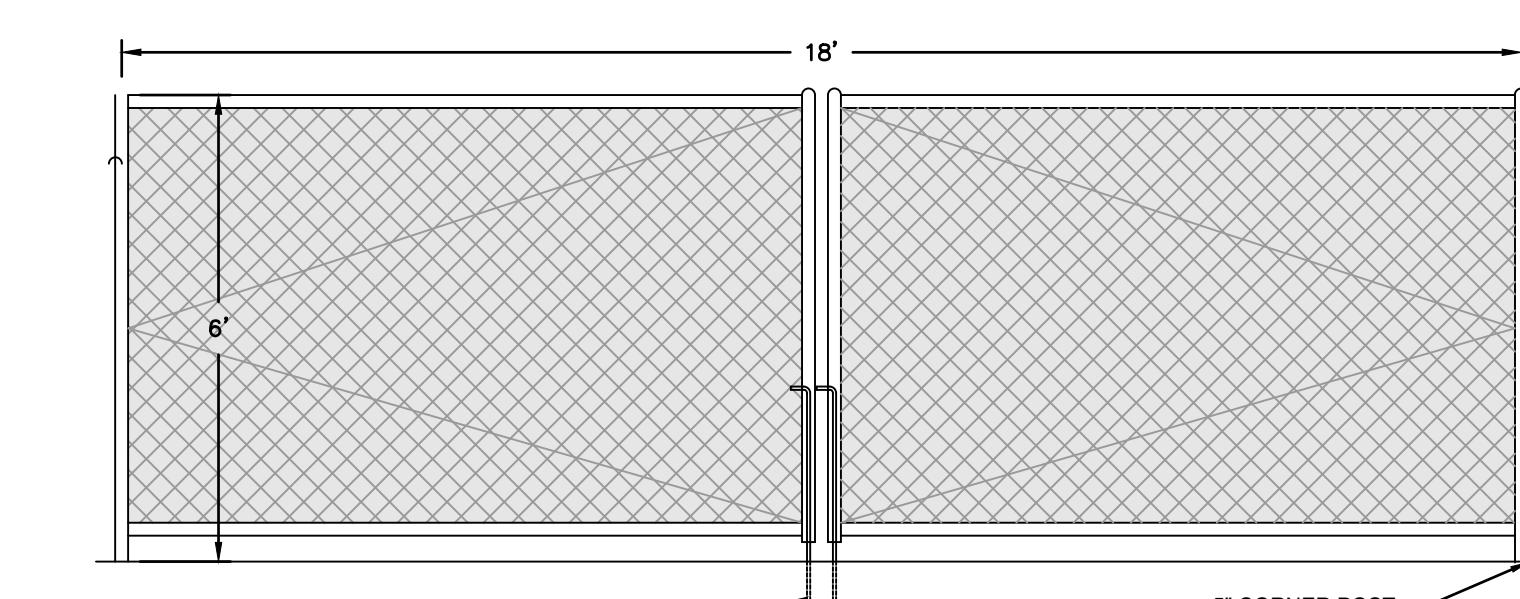
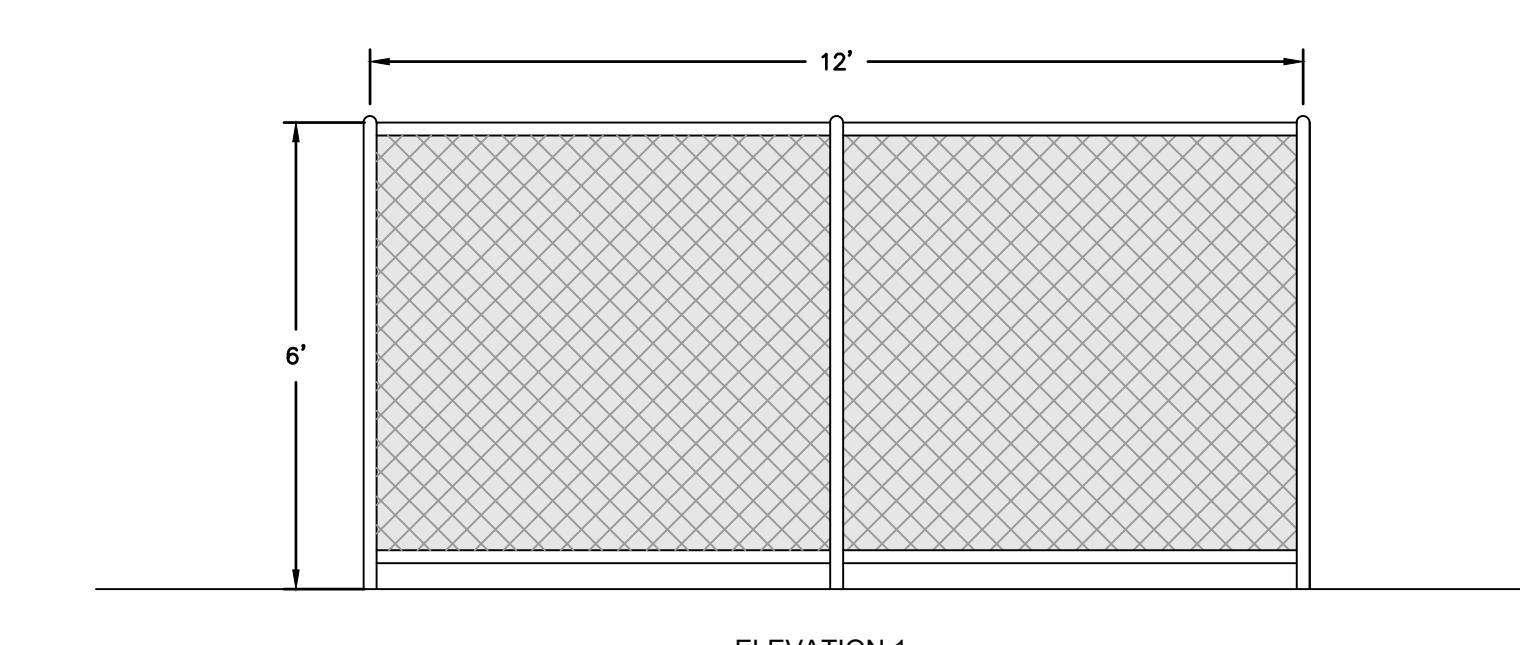

 TYPICAL WATER MAIN AND  
SERVICE TRENCH DETAIL


VACUUM PAD DETAIL



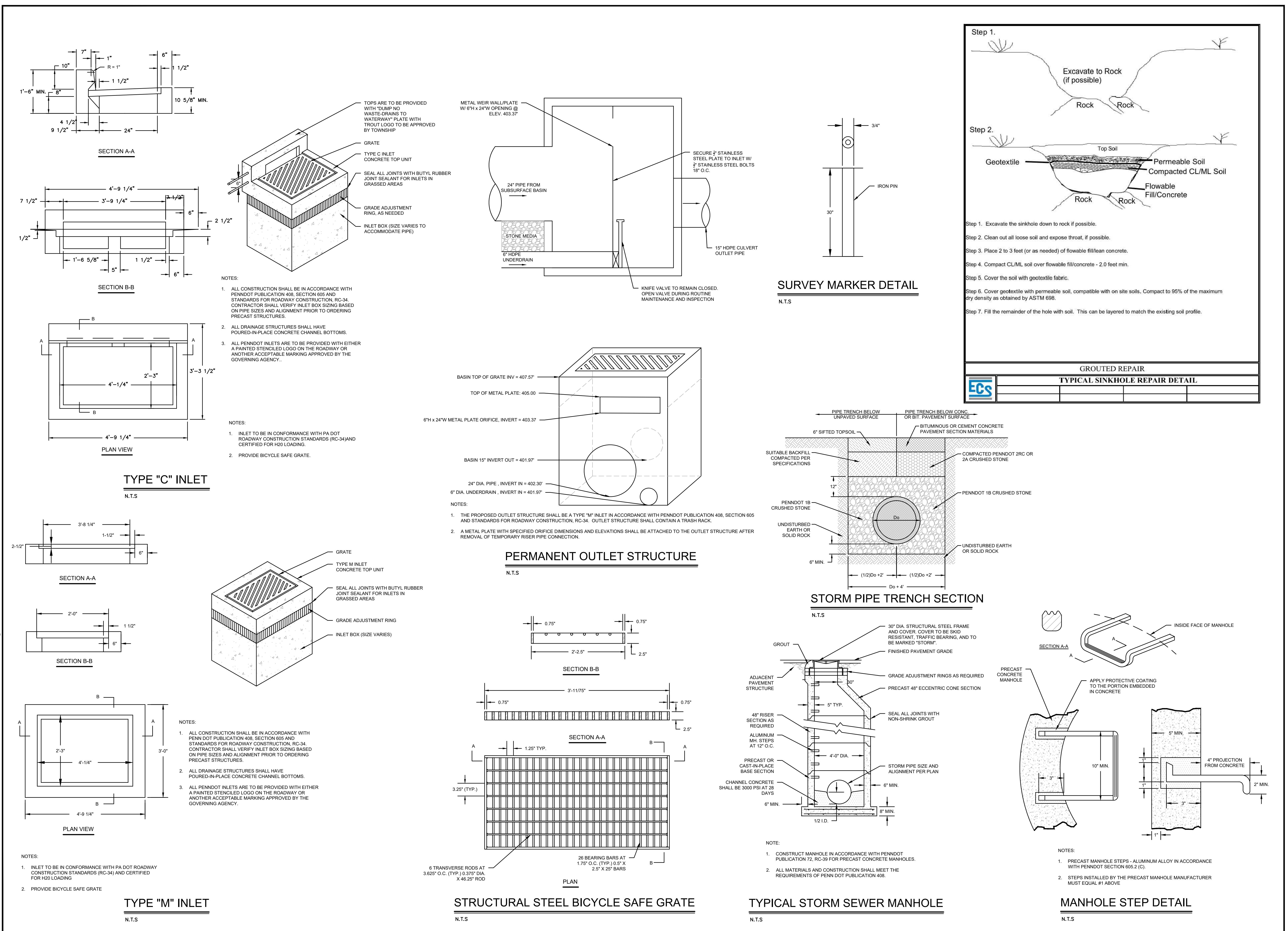
TYPICAL LIGHT POLE AND BASE DETAIL

N.T.S.



DUMPSTER ENCLOSURE

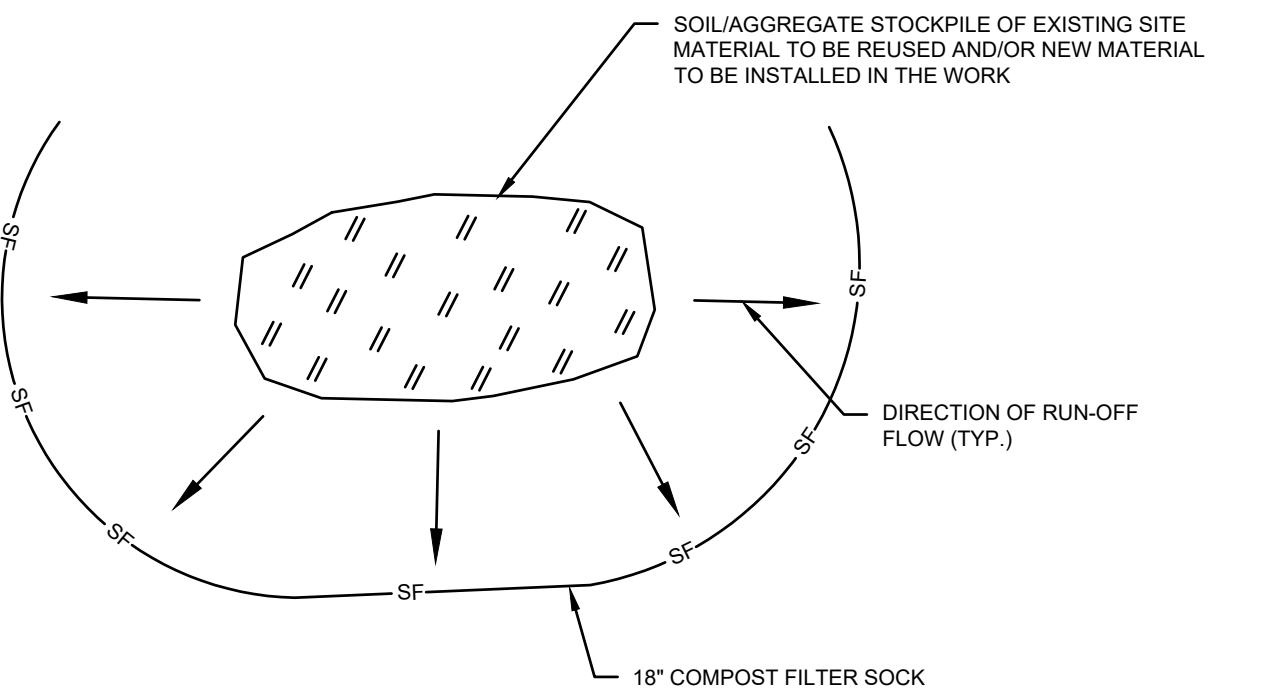
N.T.S.







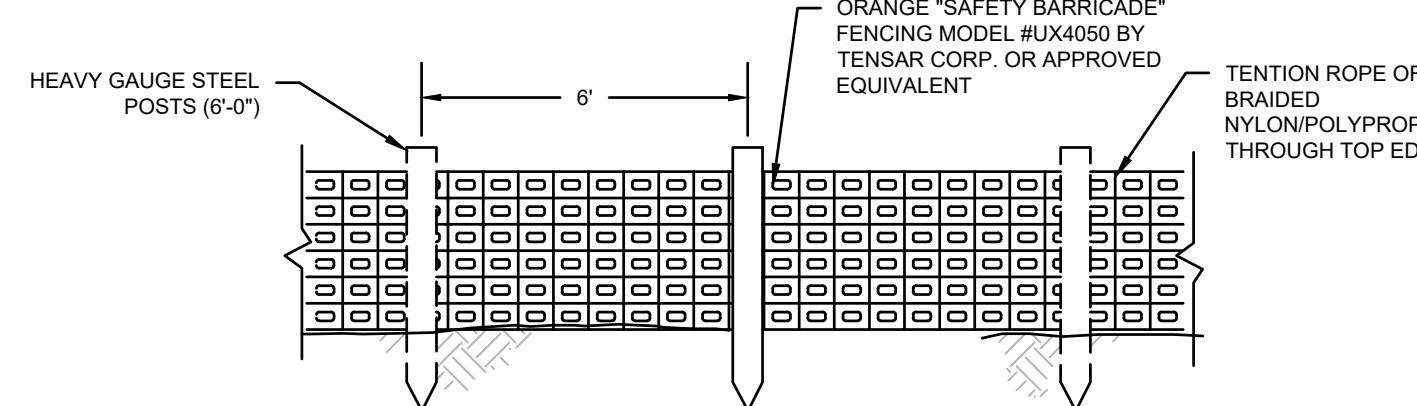




NOTES:  
1. ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF AT AN APPROVED FACILITY OR PERMITTED WAS ADOPTED.  
2. TEMPORARY SOIL/AGGREGATE STOCKPILE SITES TO BE WHERE SHOWN ON THE DRAWINGS.  
3. RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND STABILIZE AS REQUIRED.  
4. STOCKPILE HEIGHTS MUST NOT EXCEED 35'.  
5. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.

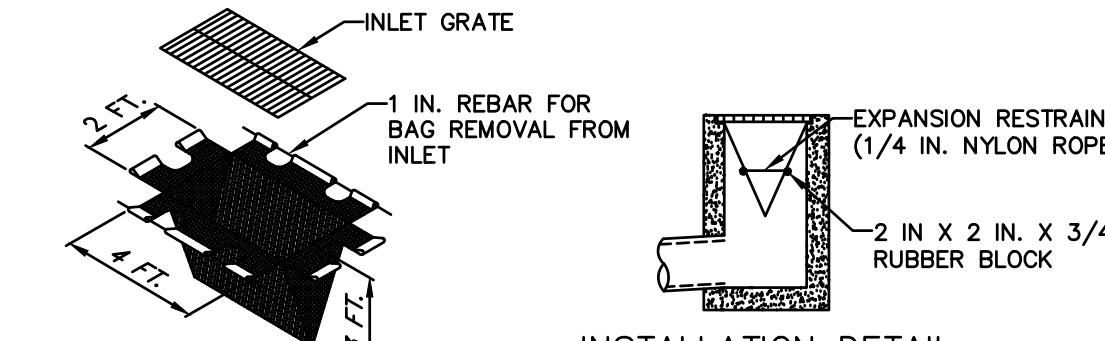
TEMPORARY MATERIAL STOCKPILE

NOT TO SCALE

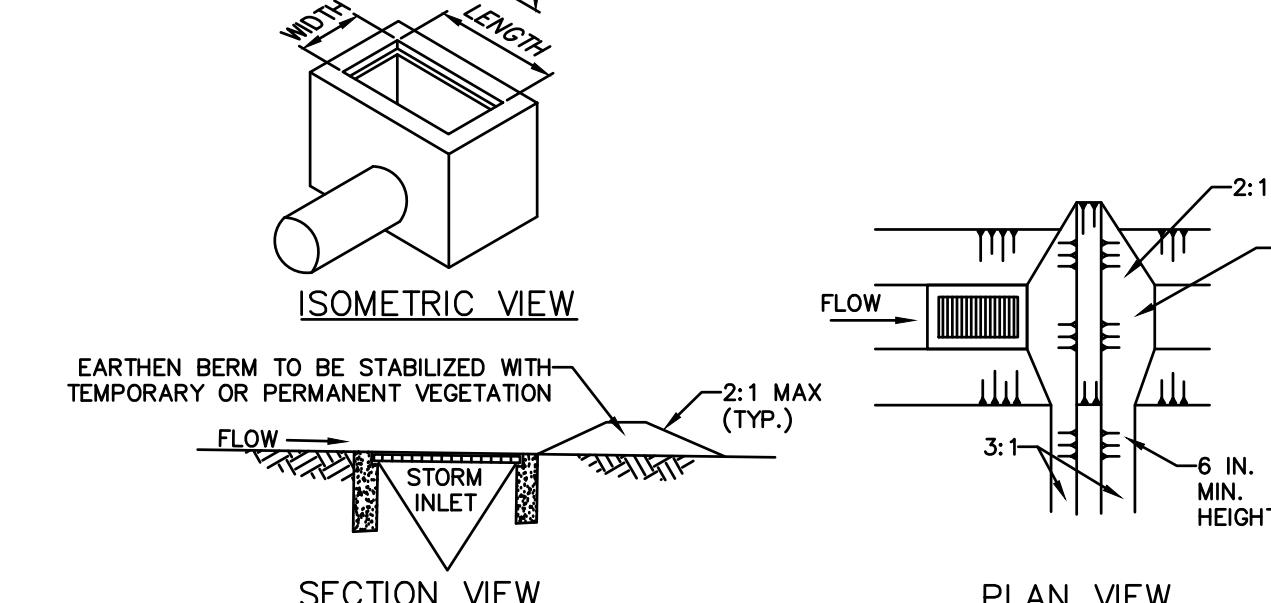


CONSTRUCTION FENCE DETAIL

NOT TO SCALE

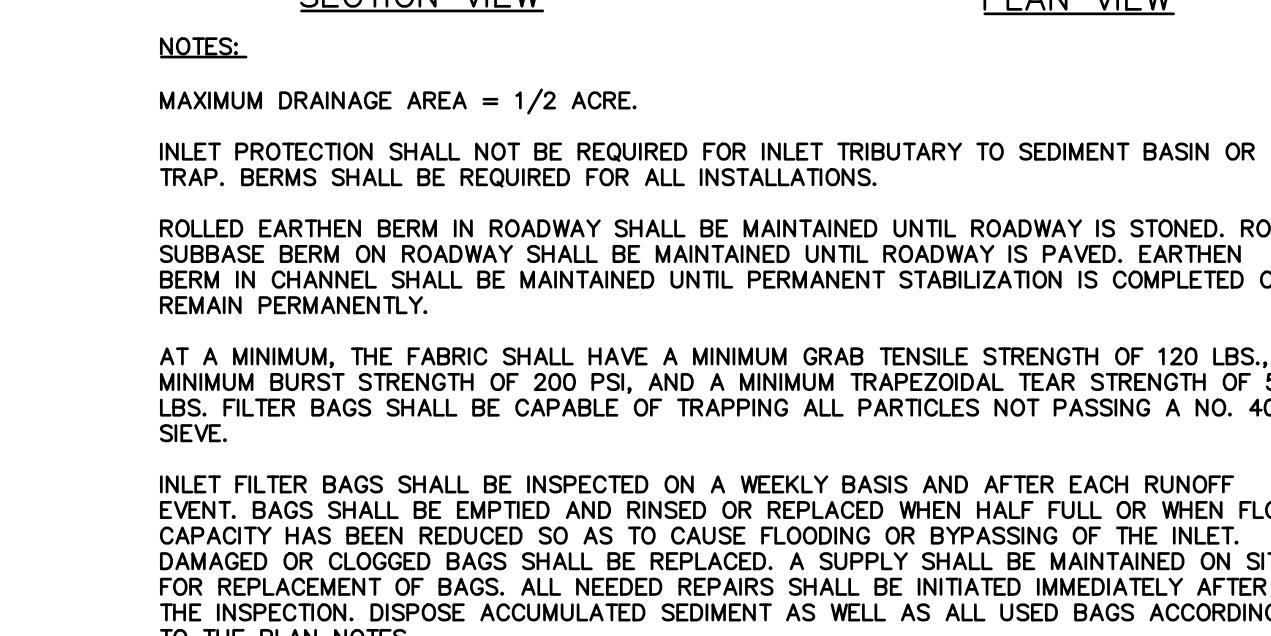


INSTALLATION DETAIL



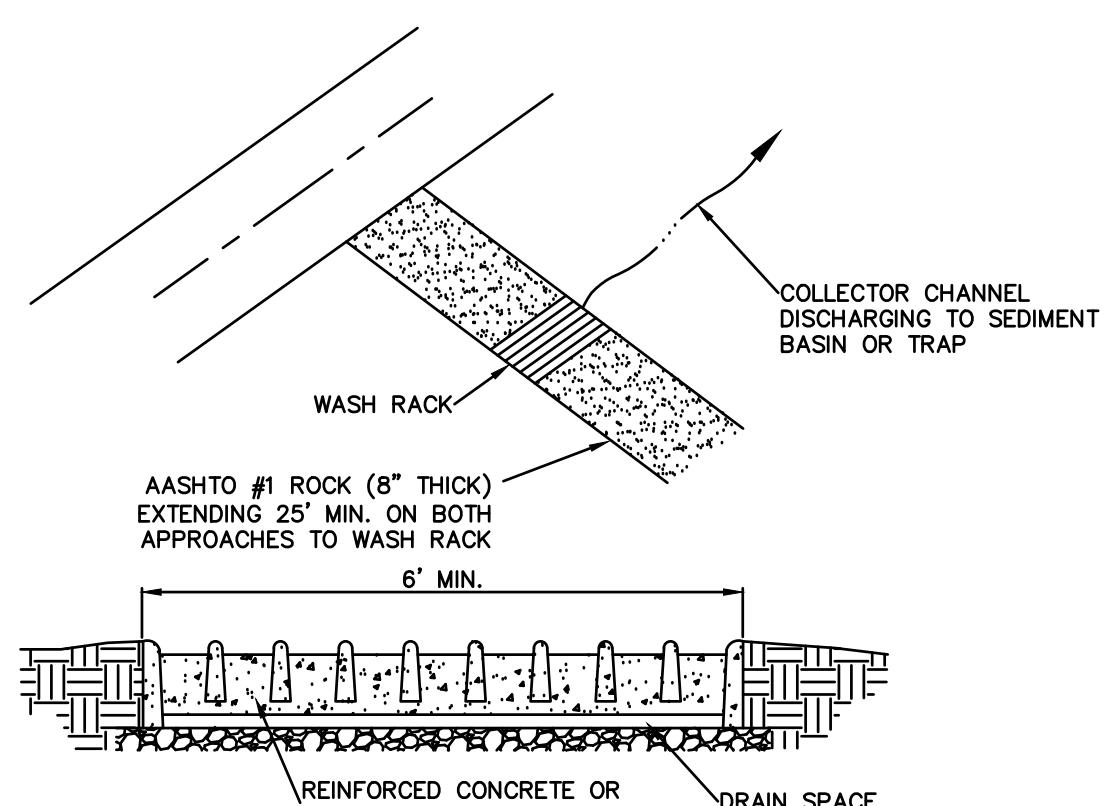
SECTION VIEW

PLAN VIEW



STANDARD CONSTRUCTION DETAIL #4-16  
FILTER BAG INLET PROTECTION - TYPE M INLET

NOT TO SCALE



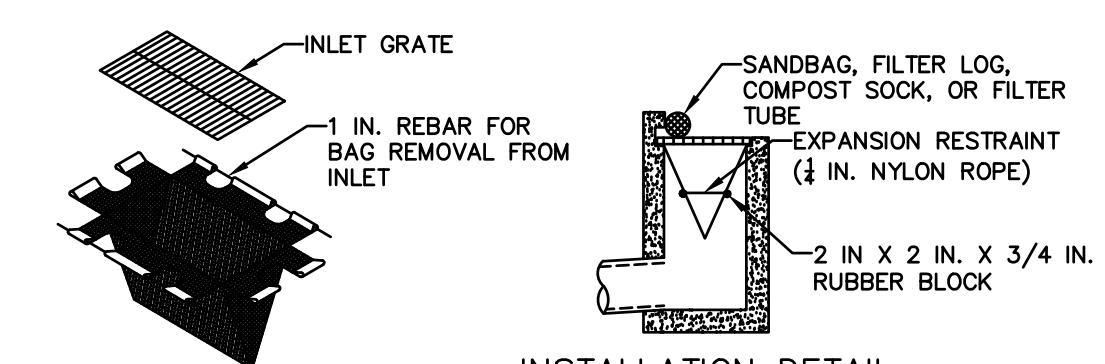
NOTES:  
WASH RACK SHALL BE 20 FEET (MIN.) WIDE OR TOTAL WIDTH OF ACCESS.  
WASH RACK SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE ANTIPLICATED CONSTRUCTION VEHICULAR TRAFFIC.

A WATER SUPPLY SHALL BE MADE AVAILABLE TO WASH THE WHEELS OF ALL VEHICLES EXITING THE SITE.

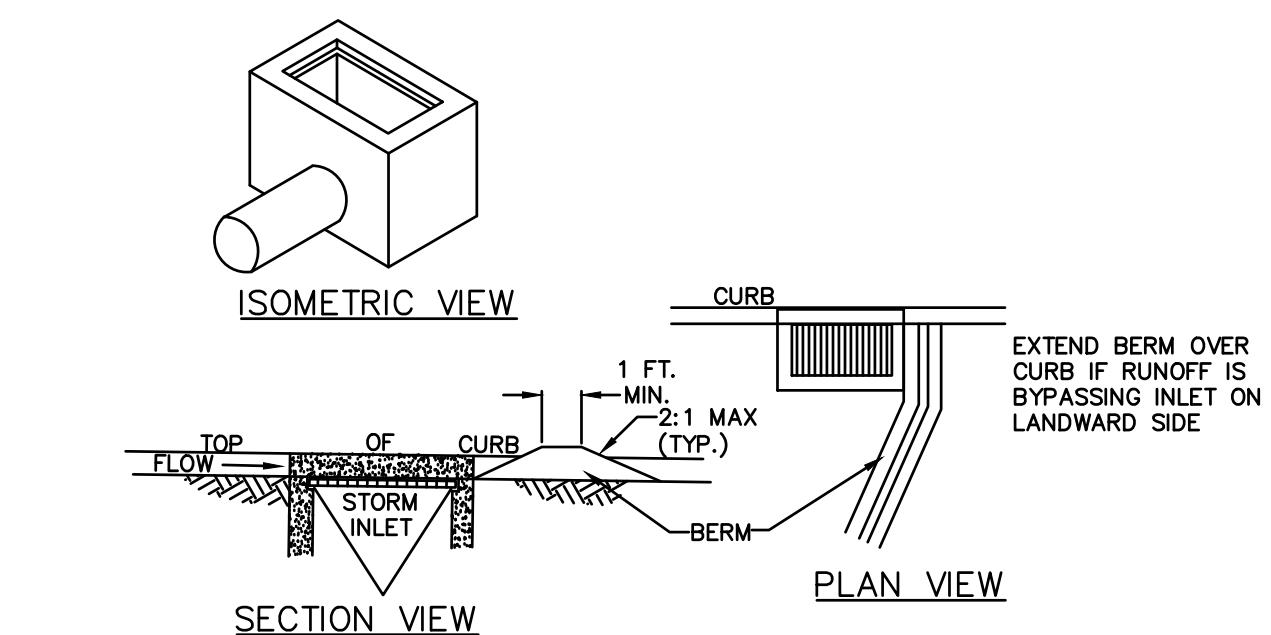
Maintenance: Rock construction entrance thickness shall be constantly maintained to the specified dimensions by adding rock. A stockpile of rock material shall be maintained on site for this purpose. Drain space under wash rack shall be kept open at all times. Damage to the wash rack shall be repaired prior to further use of the roadway. All sediment deposited on roadways shall be removed and returned to the construction site immediately, washing the roadway or sweeping the deposits into roadway ditches, sewers, culverts, or other drainage courses is not acceptable.

STANDARD CONSTRUCTION DETAIL #3-2  
ROCK CONSTRUCTION ACCESS WITH WASH RACK

NOT TO SCALE



INSTALLATION DETAIL



SECTION VIEW

PLAN VIEW



NOTES:  
MAXIMUM DRAINAGE AREA = 1/2 ACRE.  
INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERM SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.

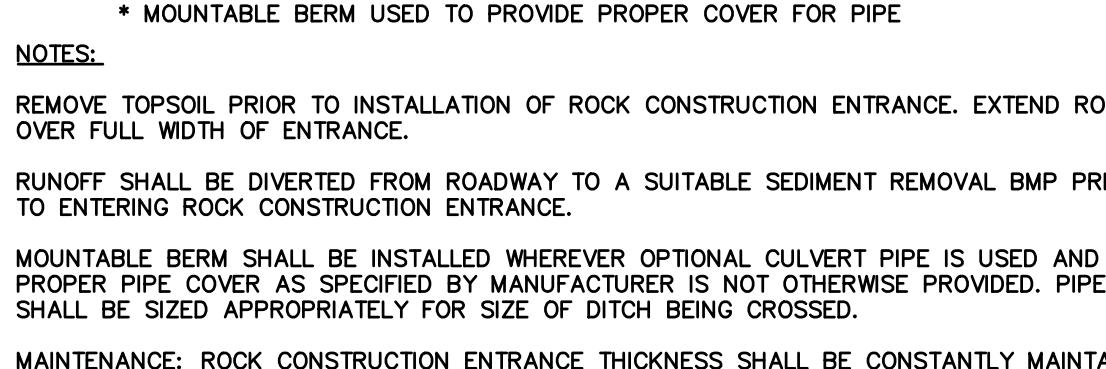
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INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

STANDARD CONSTRUCTION DETAIL #4-15  
FILTER BAG INLET PROTECTION - TYPE C INLET

NOT TO SCALE



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